

January 10, 2020
Sacramento, California

The Board of Trustees of the American River Flood Control District met in regular session in its office at 185 Commerce Circle, Sacramento, CA at 11:00 a.m. on Friday, January 10, 2020. In attendance were Trustee Shah, Trustee Johns and Trustee L'Ecluse. Trustee Holloway (excused) and Trustee Vander Werf were absent. Trustee Shah presided. Also present from the District were General Manager (GM) Tim Kerr, Superintendent Ross Kawamura, Field Supervisor Scott Webb, Legal Counsel David Aladjem and Office Manager Malane Chapman. Mr. Mike Kynet was present from MBK. No members of the public were present.

Item No. 1 Public Comments on Non-Agenda Items: No public comment on non-agenda items.

Item No. 2 Approval of Consent Agenda Items: On a motion by Trustee Johns seconded by Trustee L'Ecluse, the Board unanimously approved items 2a) Minutes of Regular Meeting on December 13, 2019, 2b) Approval of Report of Investment Transactions November 2019 (City Pool, LAIF, River City) and Treasurer's Certification, 2c) District Financial Reports: Statement of Operations (December 2019) and Cash Flow Report and 2d) Correspondence: Response to Comments on the Draft Environmental Impact Report (EIR) for the Two Rivers Trail Phase 2 Project.

Item No. 3 Accounts Payable and General Fund Expenses (December 2019): On a motion by Trustee L'Ecluse seconded by Trustee Johns, the Board unanimously approved payments on the Schedule of Accounts Payable (December 2019) of \$96,679.88 and General Fund Expenses of \$82,064.89 (total aggregate sum \$178,744.77).

Item No. 4 Arcade Creek Erosion Design – MBK Scope of Work: GM Kerr explained the longtime persistent erosion in the low flow channel which have created vertical cuts. Mr. Kynet explained the project scope of work and tasks to the Board. Trustee Johns asked if any of the costs for planning and design would be reimbursed. Trustee Shah asked for an estimate on construction costs. Mr. Kynet and GM Kerr figured it would be somewhere between \$200,000 and \$400,000. SAFCA will cost share design costs. Trustee L'Ecluse asked if there would be prioritization of the areas needing to be fixed. Trustee Shah preferred committing District funds only once the Board knows specific costs and amounts of reimbursements and if it will be performed in house or with a contractor. Trustee Shah motioned to direct staff to obtain a financial picture before the District moves onto the next phase seconded by Trustee Johns. The Board unanimously approved the motion.

Item No. 5 Review of Audio Recording Policy: This item was moved to the February 14, 2020 Board Meeting. No reportable action was taken.

Item No. 6 District Priorities for 2020: GM Kerr discussed the District goals and priorities for 2020 to the Board. The report was received and filed by the Board. No action was taken on this item.

Item No. 7 Administrative Staff Reports:

a) *General Manager Tim Kerr reported on the following:*

- General Manager's December Meeting Summary: City of Sacramento Homeless Encampments Coordination Meeting was discussed;
- Flood Maintenance Assistance Program (FMAP) Grant Update;
- Lionakis Roof Design Update;
- Hydrologic Conditions: Folsom Lake 50% of capacity with an outflow 2,415 cfs. The gauge at the I Street Bridge shows a water surface elevation of 7.3 feet above sea level;
- Next Board Meeting is scheduled for February 14, 2020.

b) *Legal Counsel David Aladjem* informed the Board his staff is working with GM Kerr on finding demographers and hope to have a couple proposals for review in February.

c) *Office Manager Malane Chapman had nothing further to report.*

Item No. 8 Operations and Maintenance Staff Reports:

a) *Superintendent Ross Kawamura reported on:*

- Crew activities including gate construction, tree trimming, chipping, spraying, toe road cleanup, camp cleanup, equipment maintenance and facilities bathroom repair.

Item No. 9 Questions and Comments by Trustees: Trustee Vander Werf suggested that the Policy Committee meet to draft a policy on how to deal with camps during levee inspections. Trustee Holloway toured the Sacramento Weir that was built in 1918 and would like to have a short presentation by SAFCA to show how the improvements might have an impact on ARFCD.

Item No. 10 Adjourn: There being no further business requiring action by the Board, the meeting was adjourned by Trustee Shah at 11:59 a.m.

Attest:

Secretary

President

**American River Flood Control District
Staff Report**

Investment Transactions Summary; December 2019

LAIF:

- There was no transactions in this account during the month of December.

City Pool A

- Accrued Interest Receivable for the month of December was \$16,363.00.
- As of December 31, 2019, the balance of Interest Receivable in this account was \$105,880.94.

Interest Receivable is accrued and transferred to the Cash Balance at the discretion of the City.

River City Bank Money Market:

- On December 11, 2019 a transfer was sent to River City Bank Checking in the amount of \$210,000.00.
- On December 31, 2019 a monthly interest payment was deposited in the amount of \$436.26.

River City Bank Checking:

- On December 11, 2019 a transfer was received from River City Bank Money Market in the amount of \$210,000.00.
- On December 12, 2019 a wire was received from Sacramento County for FY 2019-2020 Teeter Payment in the amount of \$28,726.23.
- On December 17, 2019 a miscellaneous deposit was made in the amount of \$8,400.00.
- Total amount of Accounts Payable cleared during the month of December was \$229,875.08.
- On December 31, 2019 a monthly interest payment was deposited in the amount of \$7.79.

**American River Flood Control District
Investment Transaction Report
December 2019**

Item 2b

Balance and Transactions

Account		LAIF	City Pool A	River City Bank Money Market	River City Bank Checking
Beginning Balance	12/1/19	\$458,576.83	\$8,628,237.09	\$433,927.88	\$32,476.46
Transactions					
River City Bank Transfer	12/11/19			(210,000.00)	210,000.00
Sac County FY 2019-2020 Teeter Payment	12/12/19				28,726.23
River City Miscellaneous Deposit	12/17/19				8,400.00
City Pool A Interest	12/31/19		16,363.00		
River City Bank Interest	12/31/19			436.26	7.79
Accounts Payable (cleared)					(229,875.08)
Ending Balance:	12/31/19	\$458,576.83	\$8,628,237.09	\$224,364.14	\$49,735.40

**City Pool A Interest is accrued and deposited in the account at the discretion of the City.

Interest

Date:	Jan 2019	Feb 2019	Mar 2019	Apr 2019
LAIF	2.36	2.39	2.44	2.45
City Pool A	2.45	2.63	2.5	2.58
River City Bank Money Market	2.01	2.10	2.14	2.19
River City Bank Checking	0.09	0.10	0.10	0.10
Date:	May 2019	June 2019	Jul 2019	Aug 2019
LAIF	2.45	2.43	2.38	2.34
City Pool A	2.56	2.56	2.56	2.51
River City Bank Money Market	2.22	2.23	2.20	2.18
River City Bank Checking	0.10	0.10	0.10	0.10
Date:	Sep 2019	Oct 2019	Nov 2019	Dec 2019
LAIF	2.28	2.19	2.10	2.04
City Pool A	2.43	2.41	2.41	2.21
River City Bank Money Market	2.14	2.08	1.88	1.78
River City Bank Checking	0.09	0.10	0.08	0.09

**American River
Flood Control
District**

AMERICAN RIVER FLOOD CONTROL DISTRICT

MONTHLY REVIEW – DECEMBER 2019

STRATEGY

The ARFCD funds are invested in the City of Sacramento’s Pool A investment fund. The Fund is invested pursuant to the objectives and requirements set forth in the City’s investment policy. The three objectives of the investment policy, in order of priority, are (1) the preservation of capital by the investment in safe instruments, (2) the liquidity needs of the City and pool participants so such parties will have access to cash when they need it, and (3) the maximizing of current income while remaining consistent with the other more important objectives. The City’s investment policy incorporates applicable provisions of state law including, among other things, the prudent person standard and California Code Section 53601 pertaining to eligible investments.

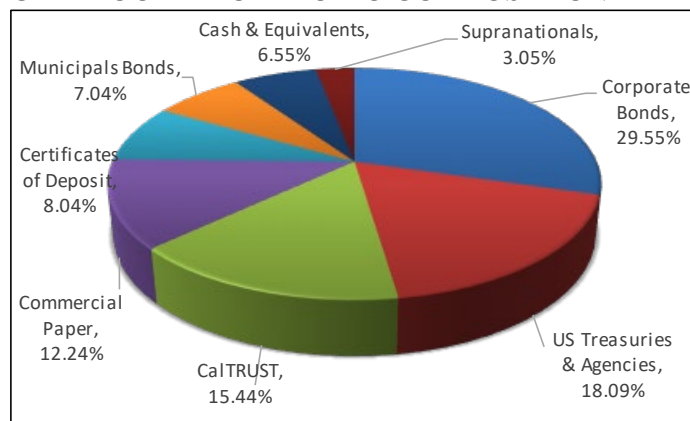
PORTFOLIO STATISTICS

Beginning Balance	8,717,755
Contributions	-
Withdrawals	-
Interest Earned	16,363
Ending Balance	8,734,118

PERFORMANCE COMPARISON

City Pool A	2.21%
LAIF	2.04%
90 Day T-Bill	1.50%
Federal Funds	1.54%

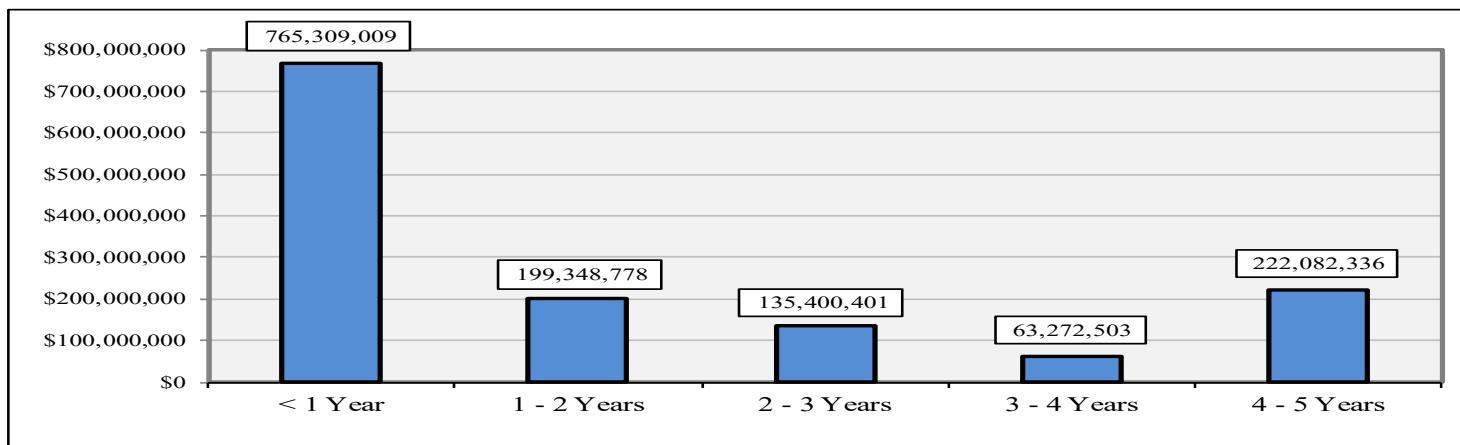
CITY POOL A PORTFOLIO COMPOSITION



CITY POOL A MATURITY SCHEDULE

Maturity	Market Value	Pct. Holdings
< 1 Year	765,309,009	55.24%
1 - 2 Years	199,348,778	14.39%
2 - 3 Years	135,400,401	9.77%
3 - 4 Years	63,272,503	4.57%
4 - 5 Years	222,082,336	16.03%
Total	1,385,413,027	100.00%

Asset Type	Pct. Assets	YTM
Corporate Bonds	29.55%	2.57%
US Treasuries & Agencies	18.09%	2.10%
CalTRUST	15.44%	1.79%
Commercial Paper	12.24%	2.06%
Certificates of Deposit	8.04%	2.26%
Municipals Bonds	7.04%	2.21%
Cash & Equivalents	6.55%	1.88%
Supranationals	3.05%	2.12%



City of Sacramento
CASH LEDGER
American River Flood Control District
 From 12-01-19 To 12-31-19

All Cash Accounts

<u>Trade Date</u>	<u>Settle Date</u>	<u>Tran Code</u>	<u>Quantity</u>	<u>Security</u>	<u>Amount</u>	<u>Cash Balance</u>
Pool A Interest Receivable						
12-01-19				Beginning Balance		89,517.94
12-31-19	12-31-19	in		Pool A Cash	16,363.00	105,880.94
				Dec 2019 estimated Pool A interest		
					16,363.00	
12-31-19				Ending Balance		105,880.94
Pool A Cash						
12-01-19				Beginning Balance		8,628,237.09
12-31-19				Ending Balance		8,628,237.09

California State Treasurer *Fiona Ma, CPA*



Local Agency Investment Fund
P.O. Box 942809
Sacramento, CA 94209-0001
(916) 653-3001

January 02, 2020

[LAIF Home](#)
[PMIA Average Monthly Yields](#)

AMERICAN RIVER FLOOD CONTROL DISTRICT

DISTRICT ENGINEER/MANAGER
165 COMMERCE CIRCLE, SUITE D
SACRAMENTO, CA 95815

[Tran Type Definitions](#)

Account Number: 90-34-002

December 2019 Statement

Account Summary

Total Deposit:	0.00	Beginning Balance:	458,576.83
Total Withdrawal:	0.00	Ending Balance:	458,576.83



River City Bank

WWW.RIVERCITYBANK.COM

PO Box 15247, Sacramento, CA 95851-0247

Return Service Requested

Item 2b



Last statement: November 30, 2019

This statement: December 31, 2019

Total days in statement period: 31

AMERICAN RIVER FLOOD CONTROL DISTRICT
C/O ROBERT MERRITT, CPA
4000 MAGNOLIA HILLS DR
EL DORADO HILLS CA 95762-6561

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0811100952
(0)

Direct inquiries to:
916-567-2836

Public Fund Money Market

Account number	0811100952	Beginning balance	\$433,927.88
Low balance	\$223,927.88	Total additions	436.26
Average balance	\$291,669.82	Total subtractions	210,000.00
Avg collected balance	\$291,669	Ending balance	\$224,364.14
Interest paid year to date	\$11,418.70		

DEBITS

Date	Description	Subtractions
12-11	Cash Mgmt Trsfr Dr REF 3451149L FUNDS TRANSFER TO DEP XXXXX0736 FROM	210,000.00

CREDITS

Date	Description	Additions
12-31	Interest Credit	436.26

DAILY BALANCES

Date	Amount	Date	Amount	Date	Amount
11-30	433,927.88	12-11	223,927.88	12-31	224,364.14

INTEREST INFORMATION

Annual percentage yield earned	1.78%
Interest-bearing days	31
Average balance for APY	\$291,669.82
Interest earned	\$436.26

AMERICAN RIVER FLOOD CONTROL DISTRICT
December 31, 2019

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0811100952

OVERDRAFT/RETURN ITEM FEES

	Total for this period	Total year-to-date
Total Overdraft Fees	\$0.00	\$0.00
Total Returned Item Fees	\$0.00	\$0.00



River City Bank

WWW.RIVERCITYBANK.COM

PO Box 15247, Sacramento, CA 95851-0247

Return Service Requested

Item 2b



Last statement: November 30, 2019

This statement: December 31, 2019

Total days in statement period: 31

AMERICAN RIVER FLOOD CONTROL DISTRICT
C/O ROBERT MERRITT, CPA
4000 MAGNOLIA HILLS DR
EL DORADO HILLS CA 95762-6561

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0811090736
(57)

Direct inquiries to:
916-567-2836

Public Fund Interest Checking

Account number	0811090736	Beginning balance	\$32,476.45
Enclosures	57	Total additions	247,134.02
Low balance	\$19,273.44	Total subtractions	229,875.08
Average balance	\$107,458.13	Ending balance	\$49,735.39
Avg collected balance	\$107,187		

CHECKS

Number	Date	Amount	Number	Date	Amount
2305	12-18	54.13	7327	12-24	1,223.17
7299 *	12-09	462.96	7328	12-20	3,914.87
7304 *	12-31	78.00	7329	12-19	298.06
7306 *	12-24	650.00	7330	12-20	4,658.40
7308 *	12-20	270.55	7331	12-19	4,313.75
7309	12-19	31,373.07	7332	12-23	7,092.00
7310	12-26	70.98	7334 *	12-20	1,902.76
7311	12-24	685.41	7335	12-20	600.00
7312	12-23	128.45	7336	12-24	16.05
7313	12-23	847.91	7337	12-23	91.17
7314	12-23	61.73	7338	12-19	75.00
7315	12-23	350.04	7339	12-19	376.89
7317 *	12-19	294.00	7340	12-19	1,912.50
7318	12-31	181.40	7341	12-23	1,794.35
7319	12-23	184.00	7343 *	12-24	4,895.00
7320	12-19	194.54	7344	12-23	1,171.86
7321	12-19	3,234.00	7345	12-20	24,477.00
7322	12-19	76.70	7346	12-20	1,820.50
7323	12-23	2,003.60	7347	12-20	603.48
7324	12-19	1,245.76	7348	12-20	1,074.64
7325	12-20	1,428.88	7349	12-20	200.00
7326	12-23	379.21	7350	12-19	25,980.00

AMERICAN RIVER FLOOD CONTROL DISTRICT
December 31, 2019

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0811090736

Number	Date	Amount	Number	Date	Amount
7351	12-23	9,008.16	7357	12-18	105.25
7352	12-20	2,500.00	7358	12-20	371.35
7353	12-30	183.66	7359	12-23	975.00
7354	12-24	1,486.48	7360	12-23	45.23
7355	12-20	425.56	* Skip in check sequence		
7356	12-23	463.21			

DEBITS

Date	Description	Subtractions
12-06	' ACH Withdrawal CALPERS 3100 100000015826574	1,292.40
12-06	' ACH Withdrawal CALPERS 3100 100000015826533	3,077.64
12-06	' ACH Withdrawal CALPERS 1900 100000015877278	48.97
12-06	' ACH Withdrawal CALPERS 1900 100000015877269	5,483.57
12-09	' ACH Withdrawal CALPERS 1900 100000015880745	2,684.52
12-09	' ACH Withdrawal HEALTHEQUITY INC HealthEqui 191209	152.95
12-12	Incoming Wire Fee 201912120022544 COUNTY OF SACRAMENSACRAMENTO CA 9581 PROPERTY TAX DISTR	15.00
12-13	' ACH Withdrawal INTUIT PAYROLL S QUICKBOOKS 191213 946000047	28,577.21
12-17	' ACH Withdrawal CALPERS 1900 100000015897585	2,684.52
12-17	' ACH Withdrawal CALPERS 3100 100000015855452	1,292.40
12-17	' ACH Withdrawal CALPERS 3100 100000015855417	3,077.64
12-17	' ACH Withdrawal HEALTHEQUITY INC HealthEqui 191217	150.00
12-19	' ACH Withdrawal INTUIT PAYROLL S QUICKBOOKS 191219 946000047	535.65
12-20	' Direct S/C STOP PAYMENT FEE	30.00
12-30	' ACH Withdrawal INTUIT PAYROLL S QUICKBOOKS 191230 946000047	32,459.56
12-31	' Service Charge ADDITIONAL DEBITS	2.38

AMERICAN RIVER FLOOD CONTROL DISTRICT
December 31, 2019

CREDITS

Date	Description	Additions
12-11	Cash Mgmt Trsfr Cr REF 3451149L FUNDS TRANSFER FRMDEP XXXXX0952 FROM	210,000.00
12-12	Incoming Wire 201912120022544 COUNTY OF SACRAMENSACRAMENTO CA 9581 PROPERTY TAX DISTR	28,726.23
12-17	Deposit	8,400.00
12-31	Interest Credit	7.79

DAILY BALANCES

Date	Amount	Date	Amount	Date	Amount
11-30	32,476.45	12-13	229,407.46	12-23	91,659.69
12-06	22,573.87	12-17	230,602.90	12-24	82,703.58
12-09	19,273.44	12-18	230,443.52	12-26	82,632.60
12-11	229,273.44	12-19	160,533.60	12-30	49,989.38
12-12	257,984.67	12-20	116,255.61	12-31	49,735.39

INTEREST INFORMATION

Annual percentage yield earned	0.09%
Interest-bearing days	31
Average balance for APY	\$107,187.17
Interest earned	\$7.79

OVERDRAFT/RETURN ITEM FEES

	Total for this period	Total year-to-date
Total Overdraft Fees	\$0.00	\$0.00
Total Returned Item Fees	\$0.00	\$0.00

CERTIFICATION

The American River Flood Control District's investment portfolio [] is [is not] in compliance with the District's Financial Management Investments Plan.

The District's investment portfolio is not in compliance in the following respects:

A cash flow analysis confirms that the District [is] [is not] expected to be able to meet its expenditure requirements for the next six months.

The District's cash is insufficient to meet obligations for the next six months as a result of the following:

Attached hereto are the most recent statements of accounts of the following District accounts:

- LAIF Account, State Treasurer's Office **Dated December 2019**
- Investment Pool A Account, City of Sacramento **Dated December 2019**
- District Checking Account, River City Bank **Dated December 2019**
- District Repurchase Account, River City Bank **Dated December 2019**

Certified by: _____ Date: _____
Rachelanne Vander Werf, District Treasurer

American River Flood Control District
Statement of Operations
July 1, 2019 to January 31, 2020 (Seven Months Ending of Fiscal 2020)
For Internal Use Only

	Year to Date July 1, 2019 to January 31, 2020	Budget	Percent of Budget
Revenues			
Benefit assessment	\$ 740,078	\$ 1,429,793	51.76%
Consolidated capital assessment	-	980,000	0.00%
Interest	118,232	77,267	153.02%
O & M agreements	-	231,801	0.00%
Miscellaneous	-	-	Not budgeted
Total Revenues	858,310	2,718,861	31.57%
M & O Expenses			
Salaries and wages	436,535	790,476	55.22%
Payroll tax expense	31,447	63,238	49.73%
Pension expense	95,643	156,542	61.10%
Compensation insurance	11,546	39,524	29.21%
Medical/dental/vision	127,780	213,378	59.88%
Fuel/oil reimbursement	15,200	35,000	43.43%
Equipment rental	16,718	20,000	83.59%
Equipment repairs/parts	37,953	45,000	84.34%
Equipment purchases (< \$5,000)	9,693	15,000	64.62%
Shop supplies	11,993	15,000	79.95%
Levee maint. (supp. & material)	6,371	20,000	31.86%
Levee maint. chemicals	15,370	15,000	102.47%
Levee maint. services	34,191	80,000	42.74%
Rodent abatement (supplies & materials)	2,590	10,000	25.90%
Employee uniforms	5,799	5,000	115.98%
Staff training	1,924	7,500	25.65%
Miscellaneous	1,125	2,000	56.25%
Small tools & equipment	2,330	7,500	31.07%
Emergency preparedness program	35,704	15,000	238.03%
Engineering services	29,021	20,000	145.11%
Environmental services/studies	-	5,000	0.00%
Encroachment remediation	-	15,000	0.00%
Urban camp cleanup	12,615	50,000	25.23%
Total M & O Expenses	941,548	1,645,158	57.23%
Administration Expenses			
Board of trustees compensation	3,428	7,600	45.11%
Trustee expenses	1,649	1,750	94.23%
Accounting services	700	20,000	3.50%
Legal services (general)	18,780	50,000	37.56%
Utilities	19,826	40,000	49.57%
Telephone	7,873	25,000	31.49%
Retiree benefits	88,898	135,000	65.85%
Office/shop/yard lease	4,200	6,000	70.00%
Office equipment/furniture	-	7,500	0.00%
Office supplies	-	2,000	0.00%
Auto allowance	4,127	6,600	62.53%
Parking reimbursement	-	500	0.00%
General office expense	6,925	15,000	46.17%
Technology and software	6,778	10,000	67.78%
Legislative services	-	-	Not budgeted
Dues and associations	22,560	25,000	90.24%
Property and liability insurance	25,921	30,000	86.40%
Conference/workshop/seminar	-	-	Not budgeted
Public relations/information	13,891	30,000	46.30%
Miscellaneous	2,180	5,000	43.60%
Election expense	-	-	Not budgeted
Employee morale/wellness	-	2,000	0.00%
Investment fees	4,334	20,000	21.67%
Community services	-	1,500	0.00%
Bookkeeping services	4,238	14,000	30.27%
Property taxes	1,752	3,000	58.40%
Building maintenance	3,515	10,000	35.15%
County Dtech fees for DLMS	39,586	50,000	79.17%
County assessment fees (non cash)	16,949	-	Not budgeted
Interest expense	198	-	Not budgeted
Total Administration Expenses	298,308	517,450	57.65%
Special Projects Expenses			
Engineering studies/survey studies	40,610	150,000	27.07%
Levee standards compliance	23,000	25,000	92.00%
Encroachment remediation	-	-	Not budgeted
Vegetation management	-	-	Not budgeted
Small capital projects	-	50,000	0.00%
Total Special Project Expenses	63,610	225,000	28.27%
Capital Outlay			
Bank protection	-	-	Not budgeted
Magpie Creek	-	-	Not budgeted
Property acquisition	-	-	Not budgeted
Miscellaneous	-	-	Not budgeted
Equipment purchases (over \$5,000)	46,286	100,000	46.29%
Total Capital Outlay	46,286	100,000	46.29%
Capital Outlay: District Headquarters Build-Out			
Building improvements/maintenance	26,261	225,000	11.67%
La Riviera improvements/maintenance	68	2,000	3.40%
	26,329	227,000	11.60%

Note: Amounts above are not audited

The above information is current through the last day of the previous month's bank activity.

Data has been verified by the bookkeeper and physical copies of checks have not been reviewed or received and some checks may not have cleared the bank account.

AMERICAN RIVER FLOOD CONTROL DISTRICT
Cash Flow Report
July 2019 through June 2020

Cash Flow Report													
Maintenance and Operations Expens	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20	TOTAL
500 - Salary/Wages	58,116.53	59,270.60	61,453.64	61,066.28	65,950.92	94,194.78	32,029.14	64,058.28	0.00	0.00	0.00	0.00	496,140.17
501 - Payroll Taxes	4,470.68	4,558.96	4,726.01	4,286.42	4,282.16	5,884.39	3,024.09	5,543.86	0.00	0.00	0.00	0.00	36,776.57
502 - Pension	9,373.16	18,128.96	9,467.15	18,267.44	8,762.09	12,343.18	14,348.25	9,104.67	0.00	0.00	0.00	0.00	99,794.90
503 - Compensation Insurance	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
504 - Medical/Dental/Vision	15,684.32	15,856.32	14,028.06	14,806.69	17,042.54	19,830.44	19,032.98	0.00	0.00	0.00	0.00	0.00	116,281.35
508 - Fuel/Oil	2,188.69	5,121.50	1,669.65	2,200.13	2,975.27	3,914.87	756.90	0.00	0.00	0.00	0.00	0.00	18,827.01
509 - Equipment Rental	3,129.50	3,129.50	3,129.50	6,950.51	3,129.50	379.21	0.00	0.00	0.00	0.00	0.00	0.00	19,847.72
510 - Equipment Purchase(< \$5000	297.26	0.00	0.00	3,172.05	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	3,469.31
511 - Equipment Repair/Parts	5,655.89	8,224.85	9,097.22	3,665.05	2,066.12	4,416.39	10,760.46	0.00	0.00	0.00	0.00	0.00	43,885.98
512 - Shop Supplies	1,231.54	3,512.76	1,161.26	1,365.55	2,103.64	2,322.41	1,467.59	0.00	0.00	0.00	0.00	0.00	13,164.75
514 - Levee Maint(Supplies&Materi	134.09	1,109.89	182.69	2,028.65	1,409.36	1,497.64	142.45	0.00	0.00	0.00	0.00	0.00	6,504.77
515 - Levee Maintenance Services	4,645.16	1,635.71	5,152.78	15,593.86	287.74	3,598.78	4,769.97	0.00	0.00	0.00	0.00	0.00	35,684.00
516 - Employee Uniforms	492.64	4,782.23	0.00	0.00	367.03	650.00	0.00	0.00	0.00	0.00	0.00	0.00	6,291.90
518 - Staff Training	1,500.00	805.00	0.00	0.00	115.90	779.61	0.00	0.00	0.00	0.00	0.00	0.00	3,200.51
519 - Miscellaneous O&M	0.00	0.00	0.00	0.00	1,125.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,125.00
521 - Small Tools & Equip	0.00	1,185.23	0.00	0.00	3,030.92	847.91	2,109.21	0.00	0.00	0.00	0.00	0.00	7,173.27
523 - Levee Maint. (Chemicals)	0.00	1,360.38	0.00	0.00	142.72	9,008.16	4,773.83	0.00	0.00	0.00	0.00	0.00	15,285.09
525 - Emergency Preparedness Pr	0.00	0.00	15,942.92	0.00	26,416.43	(7,154.24)	499.38	0.00	0.00	0.00	0.00	0.00	35,704.49
530 - Encroachment Remediation I	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
532 - Rodent Abatement	0.00	0.00	0.00	2,447.13	227.23	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2,674.36
605 - Engineering Services	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
615 - Survey Services	164.97	1,122.65	180.29	163.05	179.50	147.63	399.96	35.45	0.00	0.00	0.00	0.00	2,393.50
616 - Environmental Services/Studi	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total M&O Expense	107,084.43	129,804.54	126,191.17	136,012.81	139,614.07	152,661.16	94,114.21	78,742.26	0.00	0.00	0.00	0.00	964,224.65

Administrative Expenses													
	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20	TOTAL
505 - Telephone	1,131.79	1,382.67	1,338.16	1,517.39	1,577.88	1,239.42	1,210.42	0.00	0.00	0.00	0.00	0.00	9,397.73
506 - Utility Charges	2,905.15	3,315.25	3,336.87	3,291.29	3,170.62	3,313.19	3,214.78	0.00	0.00	0.00	0.00	0.00	22,547.15
507 - Office/Shop Lease	600.00	600.00	600.00	600.00	600.00	600.00	600.00	0.00	0.00	0.00	0.00	0.00	4,200.00
513 - Office Supplies	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
517 - Auto Allowance	550.00	550.00	550.00	550.00	550.00	825.00	275.00	550.00	0.00	0.00	0.00	0.00	4,400.00
520 - Retiree Benefits	10,968.74	10,968.74	10,968.74	10,968.74	10,968.74	11,542.63	11,542.63	0.00	0.00	0.00	0.00	0.00	77,928.96
522 - Office Equipment/Furniture	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
526 - Mileage/Parking Reimburse	0.00	0.00	0.00	0.00	223.88	0.00	0.00	0.00	0.00	0.00	0.00	0.00	223.88
527 - General Office Expense	1,050.23	1,079.19	1,115.46	1,054.92	2,655.54	1,236.94	665.28	0.00	0.00	0.00	0.00	0.00	8,857.56
529 - Pre-funding Retiree Benefits	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
531 - Technology & Software	341.55	259.99	259.99	1,002.04	1,399.53	275.56	3,313.05	0.00	0.00	0.00	0.00	0.00	6,851.71
600 - Board of Trustees Compensa	0.00	0.00	0.00	937.40	312.12	8,334.84	3,030.71	0.00	0.00	0.00	0.00	0.00	12,615.07
601 - Trustee Expenses	380.00	380.00	380.00	475.00	760.00	475.00	285.00	0.00	0.00	0.00	0.00	0.00	3,135.00
602 - Accounting Services	53.92	798.12	61.94	181.90	106.63	206.15	294.29	38.71	0.00	0.00	0.00	0.00	1,741.66
603 - Legal Fees (General)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
604 - Flood Litigation	3,810.00	8,944.00	1,180.41	2,352.00	4,452.00	3,528.00	7,267.50	0.00	0.00	0.00	0.00	0.00	31,533.91
606 - Legislative Services	0.00	(8,323.69)	2,755.50	3,294.10	7,182.75	11,750.40	0.00	0.00	0.00	0.00	0.00	0.00	16,659.06
607 - Dues and Assoc. Expenses	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
608 - Insurance Premiums	0.00	60.00	5,747.00	9,820.00	7,197.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	22,824.00
609 - Conference /Workshops/Sem	14,314.08	0.00	0.00	21,574.00	0.00	0.00	11,546.19	0.00	0.00	0.00	0.00	0.00	47,434.27
610 - Public Relations Information	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
611 - Election Expenses	0.00	0.00	0.00	0.00	0.00	4,294.35	9,597.10	0.00	0.00	0.00	0.00	0.00	13,891.45
612 - District Annexations	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
613 - Community Services	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
614 - Miscellaneous Admin	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
617 - Investment Fees	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
618 - Property Tax	0.00	4,083.00	0.00	0.00	0.00	0.00	4,334.00	0.00	0.00	0.00	0.00	0.00	8,417.00
619 - Building Maintenance	0.00	0.00	0.00	0.00	1,684.42	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,684.42
620 - Bookkeeping Services	0.00	0.00	0.00	0.00	0.00	0.00	250.00	0.00	0.00	0.00	0.00	0.00	250.00
621 - County Assessment Fees	675.00	1,387.50	0.00	712.50	0.00	2,887.50	0.00	0.00	0.00	0.00	0.00	0.00	5,662.50
622 - County DTEch Fees for DLMS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
623 - Employee Morale/Wellness	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

AMERICAN RIVER FLOOD CONTROL DISTRICT
Cash Flow Report
July 2019 through June 2020

Total Administrative	36,780.46	25,484.77	28,294.07	58,331.28	42,841.11	50,508.98	57,425.95	588.71	0.00	0.00	0.00	0.00	300,255.33
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Special Projects Expenses	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20	TOTAL
702 - Engineering/Survey Studies	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
703 - Encroachment Remediation &	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
704 - Vegetation Management	0.00	0.00	0.00	9,450.00	14,630.00	25,980.00	0.00	0.00	0.00	0.00	0.00	0.00	50,060.00
705 - Small Capital Projects	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
707 - Levee Standards Compliance	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Special Projects	0.00	0.00	0.00	9,450.00	14,630.00	25,980.00	0.00	0.00	0.00	0.00	0.00	0.00	50,060.00

Capital Outlay: Flood Control	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20	TOTAL
700 - Bank Protection	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
701 - Magpie Creek	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
706 - Property Acquisition	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
709 - Equipment Purchase (> \$500)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Capital Outlay: Flood Control	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Income	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20	TOTAL
120 - Benefit Assessment	0.00	38,024.99	0.00	0.00	0.00	28,726.23	722,016.80	0.00	0.00	0.00	0.00	0.00	788,768.02
122 - SAFCA CAD4	980,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	980,000.00
123 - Interest	3,819.31	1,892.89	1,552.62	3,972.63	717.78	444.05	2,794.26	0.00	0.00	0.00	0.00	0.00	15,193.54
124 - O&M Agreements	0.00	0.00	0.00	0.00	0.00	0.00	224,359.20	0.00	0.00	0.00	0.00	0.00	224,359.20
126 - Miscellaneous Income	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Total Income	983,819.31	39,917.88	1,552.62	3,972.63	717.78	29,170.28	949,170.26	0.00	0.00	0.00	0.00	0.00	2,008,320.76

Fund Balance

District Operations Fund	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20
Beginning Balance	1,204,681.07	2,044,635.49	1,929,264.06	1,776,331.44	1,576,509.98	1,380,142.58	1,180,162.72	1,977,792.82	0.00	0.00	0.00	0.00
Income	983,819.31	39,917.88	1,552.62	3,972.63	717.78	29,170.28	949,170.26	0.00	0.00	0.00	0.00	0.00
Expenses	143,864.89	155,289.31	154,485.24	203,794.09	197,085.18	229,150.14	151,540.16	79,330.97	0.00	0.00	0.00	0.00
Ending Balance	2,044,635.49	1,929,264.06	1,776,331.44	1,576,509.98	1,380,142.58	1,180,162.72	1,977,792.82	FALSE	0.00	0.00	0.00	0.00

Capital Outlay Reserve Fund	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20
Beginning Balance	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	0.00	0.00	0.00	0.00
Income	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Ending Balance	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	1,270,000.00	0.00	0.00	0.00	0.00

Retiree Health Benefit Reserve Fund	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20
Beginning Balance	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	0.00	0.00	0.00	0.00
Income	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Ending Balance	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	3,480,014.00	0.00	0.00	0.00	0.00

Flood Emergency Response Reserve Fund	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20
Beginning Balance	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	0.00	0.00	0.00	0.00
Income	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Ending Balance	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	0.00	0.00	0.00	0.00

Emergency Repair Reserve Fund	Jul 19	Aug 19	Sept 19	Oct 19	Nov 19	Dec 19	Jan 20	Feb 20	Mar 20	Apr 20	May 20	Jun 20
Beginning Balance	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	0.00	0.00	0.00	0.00
Income	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Ending Balance	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	1,500,000.00	0.00	0.00	0.00	0.00

Total Balance	9,794,649.49	9,679,278.06	9,526,345.44	9,326,523.98	9,130,156.58	8,930,176.72	9,727,806.82	7,750,014.00	0.00	0.00	0.00	0.00
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Wilton Rancheria



9728 Kent Street, Elk Grove, CA 95624

January 13, 2020

American River Flood Control District
185 Commerce Circle
Sacramento, CA 95815

RE: *California Environmental Quality Act Public Resources Code section 21080.3, subd. (b) Request for Formal Notification of Proposed Projects Within Wilton Rancheria Tribe's Geographic Area of Traditional and Cultural Affiliation*

Dear Sir or Madam,

As of the date of this letter, in accordance with Public Resources Code Section 21080.3.1, subd. (b), Wilton Rancheria, which is traditionally and culturally affiliated with a geographic area within your agency's geographic area of jurisdiction, requests formal notice of and information on proposed projects for which your agency will serve as a lead agency under the California Environmental Quality Act (CEQA), Public Resources Code section 21000 et seq.

Pursuant to Public Resources Code section 21080.3.1, subd. (b), and until further notice, we hereby designate the following person as the tribe's lead contact person for purposes of receiving notices of proposed projects from your agency:

Attn: Chairman Raymond C. Hitchcock / Director
Ralph Hatch Wilton Rancheria, Cultural Preservation
Department
9415 Rancheria Drive
Wilton, CA 95693 crd@wiltonrancheria-nsn.gov
rhatch@wiltonrancheria-nsn.gov

We request that all notices be sent via certified U.S. Mail with return receipt. Following receipt and review of the information your agency provides, within the 30-day period proscribed by Public Resources Code section 21080.3.1, subd. (d), the Wilton Rancheria may request consultation, as defined by Public Resources Code section 21080.3.1, subd. (b), pursuant to Public Resources Code section 21080.3.2 to mitigate any project impacts a specific project may cause to tribal cultural resources.

If you have any questions or need additional information, please contact our lead contact person listed above.

Respectfully,

Ralph Hatch

Ralph Troy Hatch
Executive Director of Cultural Preservation



**California Special
Districts Association**

Districts Stronger Together

DATE: January 27, 2020

TO: CSDA Voting Member Presidents and General Managers

FROM: CSDA Elections and Bylaws Committee

**SUBJECT: CSDA BOARD OF DIRECTORS CALL FOR NOMINATIONS
SEAT C**

The Elections and Bylaws Committee is looking for Independent Special District Board Members or their General Managers who are interested in leading the direction of the California Special Districts Association for the 2021 - 2023 term.

The leadership of CSDA is elected from its six geographical networks. Each of the six networks has three seats on the Board with staggered 3-year terms. Candidates must be affiliated with an independent special district that is a CSDA Regular Member in good standing and located within the geographic network that they seek to represent. (See attached CSDA Network Map)

The CSDA Board of Directors is the governing body responsible for all policy decisions related to CSDA's member services, legislative advocacy, education and resources. The Board of Directors is crucial to the operation of the Association and to the representation of the common interests of all California's special districts before the Legislature and the State Administration. Serving on the Board requires one's interest in the issues confronting special districts statewide.

Commitment and Expectations:

- Attend all Board meetings, usually 4-5 meetings annually, at the CSDA office in Sacramento.
- Participate on at least one committee, meets 3-5 times a year at the CSDA office in Sacramento.
(CSDA reimburses Directors for their related expenses for Board and committee meetings as outlined in Board policy).
- Attend, at minimum, the following CSDA annual events: Special Districts Legislative Days - held in the spring, and the CSDA Annual Conference - held in the fall.
*(CSDA does **not** reimburse expenses for the two conferences even if a Board or committee meeting is held in conjunction with the event, however does comp registration for the two events)*
- Complete all four modules of CSDA's Special District Leadership Academy within 2 years of being elected.
*(CSDA does **not** reimburse expenses for the Academy classes even if a Board or committee meeting is held in conjunction with the event).*

- Complete Annual Chief Executive Officer Evaluation.

Nomination Procedures: Any Regular Member in good standing is eligible to nominate one person, a board member or managerial employee (as defined by that district's Board of Directors), for election to the CSDA Board of Directors. **A copy of the member district's resolution or minute action and Candidate Information Sheet must accompany the nomination. The deadline for receiving nominations is March 26, 2020. Nominations and supporting documentation may be mailed, faxed, or emailed.**

Mail: 1112 I Street, Suite 200, Sacramento, CA 95814
 Fax: 916.442.7889
 E-mail: amberp@csda.net

Once received, nominees will receive a candidate's letter in the mail. The letter will serve as confirmation that CSDA has received the nomination and will also include campaign guidelines.

CSDA will begin electronic voting on May 25, 2020. All votes must be received through the system no later than 5:00 p.m. July 10, 2020. The successful candidates will be notified no later than July 14, 2020. All selected Board Members will be introduced at the Annual Conference in Palm Desert, CA in August 2020.

Expiring Terms

(See enclosed map for Network breakdown)

Northern Network Seat C-Fred Ryness, Director, Burney Water District*
Sierra Network Seat C-Pete Kampa, GM, Saddle Creek Community Services District*
Bay Area Network Seat C-Stanley Caldwell, Director, Mt. View Sanitary District*
Central Network Seat C-Sandi Miller, GM, Selma Cemetery District*
Coastal Network Seat C-Vincent Ferrante, Director, Moss Landing Harbor District*
Southern Network Seat C-Arlene Schafer, Director, Costa Mesa Sanitary District*

(* = Incumbent is running for re-election)

If you have any questions, please contact Amber Phelen at amberp@csda.net.

AGAIN, THIS YEAR!

This year we will be using a web-based online voting system, allowing your district to cast your vote easily and securely. *Electronic Ballots will be emailed to the main contact in your district May 25, 2020. All votes must be received through the system no later than 5:00 p.m. July 10, 2020.*

*Districts can opt to cast a paper ballot instead; but you must contact Amber Phelen by e-mail Amberp@csda.net **by March 26, 2020** in order to ensure that you will receive a paper ballot on time.*

CSDA will mail paper ballots on May 25, 2020 per district request only. ALL ballots must be received by CSDA no later than 5:00 p.m. July 10, 2020.

The successful candidates will be notified no later than July 14, 2020. All selected Board Members will be introduced at the Annual Conference in Palm Desert, CA in August 2020.



**California Special
Districts Association**
Districts Stronger Together

2021-2023 BOARD OF DIRECTORS NOMINATION FORM

Name of Candidate: _____

District: _____

Mailing Address: _____

Network: _____ (see map)

Telephone: _____

(PLEASE BE SURE THE PHONE NUMBER IS ONE WHERE WE CAN REACH THE CANDIDATE DIRECTLY)

Fax: _____

E-mail: _____

Nominated by (optional): _____

Return this form and a Board resolution/minute action supporting the candidate and Candidate Information Sheet by mail, or email to:

CSDA
Attn: Amber Phelen
1112 I Street, Suite 200
Sacramento, CA 95814
(877) 924-2732 (916) 442-7889 fax
amberp@csda.net

DEADLINE FOR RECEIVING NOMINATIONS – March 26, 2020



California Special Districts Association
Districts Stronger Together

2021-2023 CSDA BOARD CANDIDATE INFORMATION SHEET

The following information **MUST** accompany your nomination form and Resolution/minute order:

Name: _____

District/Company: _____

Title: _____

Elected/Appointed/Staff: _____

Length of Service with District: _____

1. Do you have current involvement with CSDA (such as committees, events, workshops, conferences, Governance Academy, etc.):

2. Have you ever been associated with any other state-wide associations (CSAC, ACWA, League, etc.):

3. List local government involvement (such as LAFCo, Association of Governments, etc.):

4. List civic organization involvement:

****Candidate Statement** – Although it is not required, each candidate is requested to submit a candidate statement of no more than 300 words in length. **Any statements received in the CSDA office after March 26, 2020 will not be included with the ballot.**



California Special Districts Association

DISTRICT NETWORKS





185 Commerce Circle
Sacramento, CA 95815

voice (916) 929-4006
fax (916) 929-4160

www.arfcd.org

Board of Trustees

Brian F. Holloway
Cyril A. Shah
Rachelanne Vander Werf
Steven T. Johns
Tamika L'Ecluse

February 14, 2020

The Honorable Jim Cooper Member,
California State Assembly State Capitol,
Room 6025
Sacramento, CA 95814

**RE: Assembly Bill 1958 – SUPPORT
As Introduced January 16, 2020**

Dear Assembly Member Cooper:

On behalf of the American River Flood Control District (ARFCD), I am writing to express our support for your Assembly Bill 1958, which would protect critical flood protection infrastructure by bolstering the operation and maintenance of levees in our District and throughout California. The District operates and maintains nearly 40 miles of flood control levees along the American River, and Steelhead, Arcade, Dry, Robla, and Magpie Creeks.

In the State of California, the Central Valley Flood Protection Board oversees all operation, maintenance, and construction activities on flood control levees. ARFCD has given assurances to the CVFPB that we will operate and maintain the levees in our District to the highest State and Federal standards. Other than routine operations and maintenance activities conducted by a designated Local Maintaining Agency, no levee may be cut or altered without prior approval by the CVFPB.

Our mission to provide our residents with the highest levels of flood protection relies on keeping the levees intact and free from unauthorized obstructions or damage. We need to be able to closely inspect every increment of our levees to look for any signs of weakness or deterioration. Our ability to do this is diminished by the presence of unauthorized camps, belongings, and refuse placed on the levees and adjacent toe roads.

AB 1958 strengthens protections against the various threats to premature levee damage by prohibiting a person from concealing, defacing, destroying, modifying, cutting, altering, or physically or visually obstructing any levee that is part of the State Plan of Flood Control (SPFC). In addition, AB 1958 would authorize the CVFPB and/or its designees to inspect and remove any obstructions made to any levee, and further authorizes peace officers to enforce provisions punishable by a misdemeanor.

The Honorable Jim Cooper
Assembly Bill 1958
January 30, 2020
Page 2

Preserving the Central Valley's flood control infrastructure is crucial when the protection of life and property are at stake. AB 1958 would protect levee systems against future unauthorized excavation, as well as reduce flood risks to critical levees by ensuring activities are monitored that could potentially impact California's critical public infrastructure.

For the above reasons, ARFCD supports your AB 1958. If you should have any questions, please do not hesitate to contact me at tkerr@arfcd.org or (916)929-4006.

Sincerely,

Tim Kerr
General Manager

cc: The Honorable Bill Dodd, Member of the State Senate
The Honorable Richard Pan, Member of the State Senate
The Honorable Heath Flora, Member of the State Assembly
The Honorable James Gallagher, Member of the State Assembly
The Honorable Kevin McCarty, Member of the State Assembly

Acct. #	Paid to	Memo	Amount	Chk. #
	ARFCD General Fund	January Expenses	\$ 94,469.61	
1 504	ACWA JPIA	Medical/Dental/Vision	\$ 18,296.00	\$ 29,838.63
2 520	ACWA JPIA	Retiree Benefits	\$ 11,542.63	
3 527	Alhambra/Sierra Springs	General Office Expense	\$ 32.06	
4 508	Asbury Environmental Services	Fuel/Oil	\$ 65.00	
5 505	AT&T	Telephone	\$ 621.30	
6 505	AT&T Analog	Telephone	\$ 126.99	
7 527	Blue Ribbon Maintenance	General Office Expense	\$ 350.00	
8 512	Capital Rubber Co. Ltd.	Shop Supplies	\$ 101.67	
9 512	Cintas	Shop Supplies	\$ 134.63	
10 527	Clark Pest Control	General Office Expense	\$ 184.00	
11 512	Del Paso Pipe & Steel	Shop Supplies	\$ 934.22	\$ 2,369.48
12 514	Del Paso Pipe & Steel	Levee Maint(Supplies&Materials)	\$ 1,435.26	
13 603	Downey Brand	Legal Fees (General)	\$ 3,991.50	
14 512	Grainger	Shop Supplies	\$ 2,557.92	\$ 3,290.32
15 800	Grainger	Building Improvements/Maint	\$ 732.40	
16 509	HercRentals	Equipment Rental	\$ 885.47	
17 512	Home Depot	Shop Supplies	\$ 144.57	\$ 4,763.70
18 800	Home Depot	Building Improvements/Maint	\$ 4,619.13	
19 508	Hunt & Sons	Fuel/Oil	\$ 2,611.85	
20 508	InterState Oil Company	Fuel/Oil	\$ 840.69	
21 527	KBA Document Solutions	General Office Expense	\$ 193.28	
22 605	Kleinfelder	Engineering Services	\$ 3,784.10	
23 533	L and D Landfill	Urban Camp Cleanup	\$ 272.38	
24 511	Lehr Auto Electric & Emergency Equipment	Equipment Repair/Parts	\$ 833.85	
25 511	Les Schwab Tire Center	Equipment Repair/Parts	\$ 1,354.95	
26 902	Lionakis	Architect/Building Design	\$ 31,041.00	
27 518	Municipal Maintenance Equipment, Inc	Staff Training	\$ 300.00	
28 511	Napa Auto Parts	Equipment Repair/Parts	\$ 294.10	
29 507	North Sacramento Land Company	Office/Shop Lease	\$ 600.00	
30 523	Nutrien Ag Solutions, Inc.	Levee Maint. (Chemicals)	\$ 2,546.05	
31 527	Office Depot	General Office Expense	\$ 320.71	\$ 375.07
32 505	Office Depot	Telephone	\$ 54.36	
33 527	Pacific Records Management	General Office Expense	\$ 30.00	
34 511	PBM Supply & MFG	Equipment Repair/Parts	\$ 232.88	\$ 5,904.87
35 709	PBM Supply & MFG	Equipment Purchase (>\$5000)	\$ 5,671.99	
36 511	Porters Old 2 New Automotive	Equipment Repair/Parts	\$ 1,047.99	
37 602	Richardson & Company	Accounting Services	\$ 9,672.00	
38 620	Robert Merritt, CPA	Bookkeeping Services	\$ 2,137.50	
39 610	Robin Hardy Communication Designs	Public Relations Information	\$ 10,286.66	
40 533	Sacramento County MSA	Urban Camp Cleanup	\$ 253.50	
41 533	Sacramento County Sheriff, Work Release	Urban Camp Cleanup	\$ 2,937.00	
42 617	Sacramento Revenue	Investment Fees	\$ 4,341.00	
43 506	Sacramento Utilities	Utility Charges	\$ 1,201.42	
44 624	SCI Consulting Group	DLMS Fees and Services	\$ 13,000.00	
45 515	Sierra Waste Recycling & Transfer Station	Levee Maintenance Services	\$ 1,455.95	
46 506	SMUD	Utility Charges	\$ 1,189.10	
47 506	Sonitrol	Utility Charges	\$ 823.39	
48 531	Streamline	Technology & Software	\$ 200.00	
49 509	Sunbelt Rentals	Equipment Rental	\$ 174.34	
50 523	Target Specialty Products	Levee Maint. (Chemicals)	\$ 2,166.87	
51 527	TIAA Bank	General Office Expense	\$ 183.66	
52 800	Tintmaster	Building Improvements/Maint	\$ 750.00	
53 527	US Bank	Staff Training (Pesticide Applicators)	\$ 80.00	\$ 938.96
54 527	US Bank	General Office Expense (Pitney Bowes)	\$ 49.00	
55 531	US Bank	Technology & Software (Paddle.net, Dri*CrashPlanPro, MSFT, Norton)	\$ 188.47	
56 533	US Bank	Urban Camp Cleanup (United Site Service)	\$ 463.26	
57 601	US Bank	Trustee Expenses (Roxie Deli)	\$ 122.23	
58 614	US Bank	Miscellaneous Admin (Efile My Forms)	\$ 36.00	
59 510	Valley Truck & Tractor Co.	Equipment Purchase (<\$5000)	\$ 3,470.69	
60 505	Verizon Wireless	Telephone	\$ 1,171.33	
61 506	Waste Management of Sacramento	Utility Charges	\$ 461.58	
62 504	Wienhoff Drug Testing	Medical/Dental/Vision	\$ 75.00	
		Accounts Payable Subtotal	\$ 155,674.88	
		Accounts Payable and General Fund Aggregate Total:	\$ 250,069.49	

Invoices Paid

	DATE	AMOUNT	CHECK #
HSA (Miscellaneous Admin)	1/14/20	\$2.95	EFT
Quickbooks (Employees)	1/13/20	\$108.00	EFT
Quickbooks (Employees)	1/15/20	\$116.00	EFT
Fruitridge Printing (610 Public Relations Information)	1/16/20	\$9,597.10	7402
Quickbooks (Trustees)	1/16/20	\$5.25	EFT
VOID:Sacramento County Sheriff, Work Release	1/10/20	-\$6,853.00	7391
Sacramento County Sheriff, Work Release (Urban Camp Cleanup)	1/16/20	\$1,958.00	7403
HSA (Employee)	1/20/20	\$150.00	EFT
Sacramento County Clerk Recorder (Miscellaneous Admin)	1/21/20	\$40.00	7404
City of Sacramento (Levee Maintenance Services)	1/24/20	\$2,376.00	7405
Wienhoff Drug Testing (Medical/Dental/Vision)	1/30/20	\$525.00	7406
Quickbooks (Employees)	1/31/20	\$111.50	EFT
Cash (Petty Cash)	2/3/20	\$100.00	7407
HSA (Employee)	2/4/20	\$150.00	EFT
HSA (Miscellaneous Admin)	2/4/20	\$2.95	EFT
	Total	\$8,389.75	

Trustee Compensation

	DATE	GROSS	NET	CHK#
1/10/2020 Board Meeting				
Johns, Steven T	1/17/20	\$95.00	\$86.78	Direct Dep
L'Ecluse, Tamika AS	1/17/20	\$95.00	\$86.78	Direct Dep
Shah, Cyril A	1/17/20	\$95.00	\$86.78	Direct Dep
	Total	\$285.00	\$260.34	

Trustee Taxes

	DATE	AMOUNT	CHK#
1/10/2020 Board Meeting			
Federal Tax Payment	1/16/20	\$43.62	EFT
CA Withholding & SDI	1/16/20	\$2.85	EFT
CA UI & ETT	1/16/20	\$4.86	EFT
	Total	\$51.33	

Payroll Summary

	DATE	GROSS	NET	CHK#
PP ending 1/15/2020				
Malane Chapman	1/16/20	3267.44	2098.49	Direct Dep
Elvin Diaz	1/16/20	2376.00	1779.81	Direct Dep
David Diaz	1/16/20	2464.00	1450.36	Direct Dep
Gilberto Gutierrez	1/16/20	2636.48	1644.68	Direct Dep
Ross Kawamura	1/16/20	4132.93	2129.12	Direct Dep
Lucas Kelley	1/16/20	1982.64	1353.01	Direct Dep
Tim Kerr	1/16/20	7077.17	5190.58	Direct Dep
Erich Quiring	1/16/20	2464.00	1638.35	Direct Dep
Jose Ramirez	1/16/20	2636.48	1932.77	Direct Dep
Scott Webb	1/16/20	2992.00	2319.85	Direct Dep
PP ending 1/31/2020				
Malane Chapman	2/1/20	3564.48	2287.43	Direct Dep
Elvin Diaz	2/1/20	2592.00	1911.11	Direct Dep
David Diaz	2/1/20	2688.00	1613.22	Direct Dep
Gilberto Gutierrez	2/1/20	2876.16	1781.39	Direct Dep
Ross Kawamura	2/1/20	4132.93	2129.13	Direct Dep
Lucas Kelley	2/1/20	2162.88	1465.25	Direct Dep
Tim Kerr	2/1/20	7077.17	5190.57	Direct Dep
Erich Quiring	2/1/20	2688.00	1764.51	Direct Dep
Jose Ramirez	2/1/20	2876.16	2100.76	Direct Dep
Scott Webb	2/1/20	3264.00	2507.49	Direct Dep
	Total	\$65,950.92	\$44,287.88	

Employee & Relief GM Taxes

	DATE	AMOUNT	CHK#
PP ending 1/15/2020			
Federal Tax Payment	1/15/20	\$8,032.76	EFT
CA Withholding & SDI	1/15/20	\$1,562.63	EFT
CA UI & ETT	1/15/20	\$541.05	EFT
PP ending 1/31/2020			
Federal Tax Payment	1/31/20	\$8,590.36	EFT
CA Withholding & SDI	1/31/20	\$1,732.39	EFT
CA UI & ETT	1/31/20	\$432.75	EFT
	Total	\$20,891.94	

Employee Pension

	DATE	AMOUNT	CHK#
PP endin 1/15/2020			
PERS Retirement Contribution (Unfunded Liability)	1/6/20	\$5,532.54	EFT
PERS Retirement Contribution	1/15/20	\$4,616.32	EFT
457 Deferred Comp (Employee Paid)	1/15/20	\$2,690.47	EFT
457 District Contribution	1/15/20	\$80.00	EFT
PP ending 1/31/2020			
PERS Retirement Contribution	2/1/20	\$4,862.62	EFT
457 Deferred Comp (Employee Paid)	2/1/20	\$2,726.42	EFT
457 District Contribution	2/1/20	\$80.00	EFT
	Total	\$20,588.37	

Total of Invoices Paid and Payroll \$94,469.61

**American River Flood Control District
Facilities Roof Replacement – Design Drawings
Staff Report**

Discussion:

The District worked with Lionakis architects in 2015 to design and construct a new headquarters office facility. At the time of the project, certain measures were taken to reduce overall construction costs. One of the items that was left out of the work was the installation of a new roof. The estimate at the time was that the existing roof had 2 to 3 more years of service life before needing to be replaced. The useful service life of the roof on the headquarters building has now been exceeded. Numerous leaks have been detected and are starting to cause damage to ceiling tiles and other structures.

District staff contacted Lionakis to help us develop a design for a new roof and also to generate bid documents to issue to a roofing contractor. During discussions with Lionakis, staff requested that they also include options for adding additional roof ventilation in the warehouse.

The Board of Trustees approved a contract with Lionakis to develop the roof designs and bid documents in September 2019. Staff worked with the Lionakis design team to identify components of the roof design needed for the District facility. Central to the effort was the correction of numerous drainage deficiencies in the existing roof.

Lionakis completed the final design drawings for the roof replacement and is submitting them to the Board of Trustees for approval. Upon approval, Lionakis will submit the drawings to the City of Sacramento permitting department for plan check and then develop bid documents for approval at a subsequent Board meeting.

Costs estimates by division for the roof replacement are as follows:

General Requirements	\$93,033
Existing Conditions	\$138,293
Electrical Demolition	\$1,509
Concrete and Masonry	\$19,574
Metal Fabrication and Sheetmetal	\$19,328
Rough Carpentry	\$5,535
Framing	\$6,991
Sheathing	\$10,000
Thermal Insulation	\$2,559

Roofing Membrane`	\$199,653	
Doors	\$1,878	
Windows	\$1,143	
Plumbing	\$3,574	
HVAC	\$16,318	
HVAC-Duct	\$14,097	
Electrical	\$1,613	
Raceway and Boxes	\$305	
Low Voltage Distribution	\$1,453	
Distribution	\$6,745	
Antenna	\$493	
Pipe	\$10,524	
<hr/>		
Subtotal	\$554,618	\$554,618
Material Sales Tax	\$16,506	
Small Tools & Equip	\$4,427	
Contingency: % Est Cost	\$57,555	
Overhead: General Admin	\$37,986	
<hr/>		
	\$116,474	\$671,092
Margin: GC on bid	\$76,123	
Bond: Payment & Performance	\$14,015	
<hr/>		
	\$90,138	\$761,230
Total	\$761,230	

Recommendation:

The General Manager recommends that the Board approve the final roof designs from Lionakis.

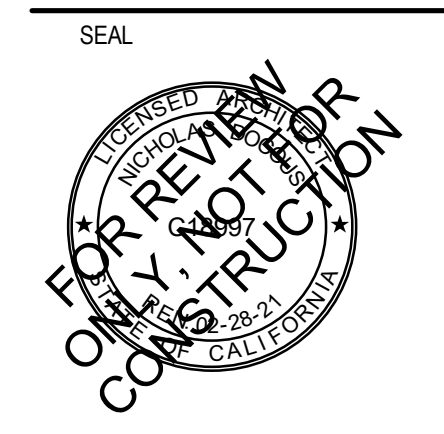
AMERICAN RIVER FLOOD CONTROL DISTRICT

185 COMMERCE CIRCLE
 SACRAMENTO, CA 95815

RE-ROOF & MECHANICAL WORK SUBMITTAL SET DECEMBER 16, 2019

IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT - SCALE ACCORDINGLY

ARCHITECTURAL SYMBOLS LEGEND	LIST OF ARCHITECTURAL ABBREVIATIONS	SHEET INDEX																																																																																																																																																																																																																																																																																			
	<table border="0"> <tr> <td>SEE UNITED STATES NATIONAL CAD STANDARD FOR ANY ABBREVIATIONS NOT LISTED BELOW.</td> <td>DHM DETENTION HOLLOW METAL</td> <td>MATL MATERIAL</td> <td>STD STANDARD</td> </tr> <tr> <td>& DIA DIAMETER</td> <td>MAX MAXIMUM</td> <td>MECH MECHANICAL</td> <td>STL STEEL</td> </tr> <tr> <td>@ DIM DIMENSION</td> <td>DS DOWNSPOUT</td> <td>MEMB MEMBRANE</td> <td>STOR STORAGE</td> </tr> <tr> <td>(E) EXISTING</td> <td>DSP DRY STANDPIPE</td> <td>MFR MANUFACTURER</td> <td>STRUC STRUCTURAL</td> </tr> <tr> <td>FOOT, FEET</td> <td>DWG DRAWING</td> <td>MH MANHOLE</td> <td>SUSP CLG SUSPENDED CEILING</td> </tr> <tr> <td>INCHES)</td> <td>DWR DRAWER</td> <td>MIN MINIMUM</td> <td>SV SHEET VINYL</td> </tr> <tr> <td>NUMBER</td> <td>EA EACH</td> <td>MISC MISCELLANEOUS</td> <td>SYMM SYMMETRICAL</td> </tr> <tr> <td>ALUM ALUMINUM</td> <td>EGSB EXTERIOR GYPSUM SHEATHING BOARD</td> <td>MO MASONRY OPENING</td> <td>SYS SYSTEM</td> </tr> <tr> <td>ARCH ARCHITECTURAL</td> <td>EIFS EXTERIOR INSULATION AND FINISH SYSTEM</td> <td>MIR MOISTURE RESISTANT</td> <td>T TREAD</td> </tr> <tr> <td>A/C UNIT AIR CONDITIONING UNIT</td> <td>EJ EXPANSION JOINT</td> <td>MTD MOUNTED</td> <td>T&G TONGUE & GROOVE</td> </tr> <tr> <td>ARE ARCHITECT / ENGINEER</td> <td>EL ELEVATION</td> <td>MTL METAL</td> <td>TEL TELEPHONE</td> </tr> <tr> <td>AB ANCHOR BOLT</td> <td>ELEC ELECTRIC / ELECTRICAL</td> <td>MULL MULLION</td> <td>THK THICKNESS</td> </tr> <tr> <td>AC ASPHALTIC CONCRETE</td> <td>ELEV ELEVATOR</td> <td>NOT IN CONTRACT</td> <td>TMH TOP OF MANHOLE</td> </tr> <tr> <td>ACC ACCESSIBLE</td> <td>EMER EMERGENCY</td> <td>NO NUMBER</td> <td>TMPD TEMPERED</td> </tr> <tr> <td>ACS DR ACCESS DOOR</td> <td>ENCL ENCLOSURE</td> <td>NOM NOMINAL</td> <td>TO TOP OF</td> </tr> <tr> <td>ACS PNL ACCESS PANEL</td> <td>EPB ELECTRICAL PANEL BOARD</td> <td>NTS NOT TO SCALE</td> <td>TOC TOP OF CURB</td> </tr> <tr> <td>ACST ACOUSTIC</td> <td>EQ EQUAL</td> <td>O OVER</td> <td>TOF TOP OF FRAME</td> </tr> <tr> <td>AD AREA DRAIN</td> <td>EQUIP EQUIPMENT</td> <td>OC ON CENTER</td> <td>TOJ TOP OF JOIST</td> </tr> <tr> <td>ADC AUTOMATIC DOOR CLOSER</td> <td>EW EACH WAY</td> <td>OD OUTSIDE DIAMETER</td> <td>TOM TOP OF MASONRY</td> </tr> <tr> <td>ADO AUTOMATIC DOOR OPERATOR</td> <td>EWG ELECTRIC WATER COOLER</td> <td>OFI OWNER FURNISHED / CONTRACTOR INSTALLED</td> <td>TOP TOP OF PARAPET</td> </tr> <tr> <td>ADDL ADDITIONAL</td> <td>EXH EXHAUST</td> <td>OFF OFFICE</td> <td>TOPO TOPOGRAPHY</td> </tr> <tr> <td>ADJ SHV ADJUSTABLE SHELVING</td> <td>EXST EXISTING</td> <td>OGG OGGLED GLASS</td> <td>TOS TOP OF STEEL</td> </tr> <tr> <td>AFF ABOVE FINISHED FLOOR</td> <td>EXP EXPANSION</td> <td>OPH OPPOSITE HAND</td> <td>TOW TOP OF WALL</td> </tr> <tr> <td>AFG ABOVE FINISHED GRADE</td> <td>EXT EXTERIOR</td> <td>OPNG OPENING</td> <td>TV TELEVISION</td> </tr> <tr> <td>AGGR AGGREGATE</td> <td>FA FIRE ALARM</td> <td>OPP OPPOSITE</td> <td>TYP TYPICAL</td> </tr> <tr> <td>AHU AIR HANDLING UNIT</td> <td>FB FLAT BAR</td> <td>OPN OPENING</td> <td>UC UNDER COUNTER/CABINET</td> </tr> <tr> <td>ASSY ASSEMBLY</td> <td>FD FLOOR DRAIN</td> <td>ORF ORF</td> <td>UNO UNLESS NOTED OTHERWISE</td> </tr> <tr> <td>BD BOARD</td> <td>FDTN FOUNDATION</td> <td>PAF POWER ACTUATED FASTENER</td> <td>UNO UNLESS OTHERWISE NOTED</td> </tr> <tr> <td>BKG BACKING</td> <td>FE FIRE EXTINGUISHER</td> <td>PL PROPERTY LINE, PLATE</td> <td>UR URINAL</td> </tr> <tr> <td>BLDG BUILDING</td> <td>FEC FIRE EXTINGUISHER CABINET</td> <td>PLAM PLASTIC LAMINATE</td> <td>VCT VINYL COMPOSITION TILE</td> </tr> <tr> <td>BM BEAM</td> <td>FIN FINISH</td> <td>PLB PLUMB</td> <td>VERT VERTICAL</td> </tr> <tr> <td>BM BENCHMARK</td> <td>FLG FLOORING</td> <td>PLBG PLUMBING</td> <td>VEST VESTIBULE</td> </tr> <tr> <td>BOT BOTTOM</td> <td>FLL FLOW LINE</td> <td>PLYWD PLYWOOD</td> <td>VIF VERIFY IN FIELD</td> </tr> <tr> <td>BTWN BETWEEN</td> <td>FLR FLOOR</td> <td>PNL PANEL</td> <td>VWF VINYL WALL COVERING</td> </tr> <tr> <td>BUR BUILT-UP ROOFING</td> <td>FOC FACE OF CONCRETE/CURB</td> <td>PROP PROPERTY</td> <td>W WITH</td> </tr> <tr> <td>BW BOTH WAYS</td> <td>FOF FACE OF FINISH</td> <td>PSI POUNDS PER SQUARE FOOT</td> <td>W/O WITHOUT</td> </tr> <tr> <td>C CHANNEL</td> <td>FOM FACE OF MASONRY</td> <td>PT PAINT, PAINT</td> <td>WC WATER CLOSET</td> </tr> <tr> <td>CAB CABINET</td> <td>FOS FACE OF STUD</td> <td>PTN PARTITION</td> <td>WD WOOD</td> </tr> <tr> <td>CB CATCH BASIN</td> <td>FW FACE OF WALL</td> <td>PV PHOTOVOLTAIC</td> <td>WH WATER HEATER</td> </tr> <tr> <td>CBC CALIFORNIA BUILDING CODE</td> <td>FP FIREPROOF</td> <td>QT QUARRY TILE</td> <td>WO WHERE OCCURS</td> </tr> <tr> <td>CEM CEMENT</td> <td>FRP FIBERGLASS REINFORCED PLASTIC</td> <td>R RADIUS, RISER</td> <td>WP WORKING POINT</td> </tr> <tr> <td>CEM PLAS CEM PLASTER</td> <td>FT FEET / FOOT</td> <td>RD ROOF DRAIN</td> <td>WPM WATERPROOF MEMBRANE</td> </tr> <tr> <td>CFLG COUNTERFLASHING</td> <td>FTG FOOTING</td> <td>REBAR REINFORCING STEEL BAR</td> <td>WSCOT WAINGCOT</td> </tr> <tr> <td>CFMF COLD-FORMED METAL FRAMING</td> <td>FURG FURRING</td> <td>REF REFERENCE</td> <td>WT WEIGHT</td> </tr> <tr> <td>CG CORNER GUARD</td> <td>FUT FUTURE</td> <td>REF REFRIGERATOR</td> <td>WTR WATER</td> </tr> <tr> <td>CI CAST IRON</td> <td>G GROUND, NATURAL GAS</td> <td>REINF REINFORCE / REINFORCING</td> <td>WWR WELDED WIRE REINFORCEMENT</td> </tr> <tr> <td>CJ CONSTRUCTION JOINT / CONTROL JOINT</td> <td>GA GAGE</td> <td>REQD REQUIRED</td> <td></td> </tr> <tr> <td>CL CENTER LINE</td> <td>GALV GALVANIZED</td> <td>RESIL RESILIENT</td> <td></td> </tr> <tr> <td>CLG CEILING</td> <td>GB GRAB BAR</td> <td>RM ROOM</td> <td></td> </tr> <tr> <td>CLR CLEAR</td> <td>GI GALVANIZED IRON</td> <td>RO ROUGH OPENING</td> <td></td> </tr> <tr> <td>CMU CONCRETE MASONRY UNIT</td> <td>GLU LAM GLUED LAMINATED WOOD</td> <td>RWD REDWOOD</td> <td></td> </tr> <tr> <td>CNTR COUNTER</td> <td>GYP GYPSUM</td> <td>RWL RAIN WATER LEADER</td> <td></td> </tr> <tr> <td>CO CLEANOUT</td> <td>HB HOSE BIB</td> <td>SAD SEE 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DF DRINKING FOUNTAIN	LAV LAVATORY	SST STAINLESS STEEL																																																																																																																																																																																																																																																																																			

 GENERAL G-001 COVER SHEET ARCHITECTURAL A-111 PLANS - FLOOR & ROOF - EXISTING / DEMO OVERALL A-112 PLANS - FLOOR & ROOF - NEW OVERALL A-211 ELEVATIONS - EXTERIOR A-511 DETAILS - EXTERIOR A-512 DETAILS - STRUCTURAL MECHANICAL MP1.1 MECHANICAL / PLUMBING LEGEND, NOTES, & SCHEDULES MP2.1 MECHANICAL / PLUMBING PLAN ELECTRICAL E1.1 ELECTRICAL PLANS |

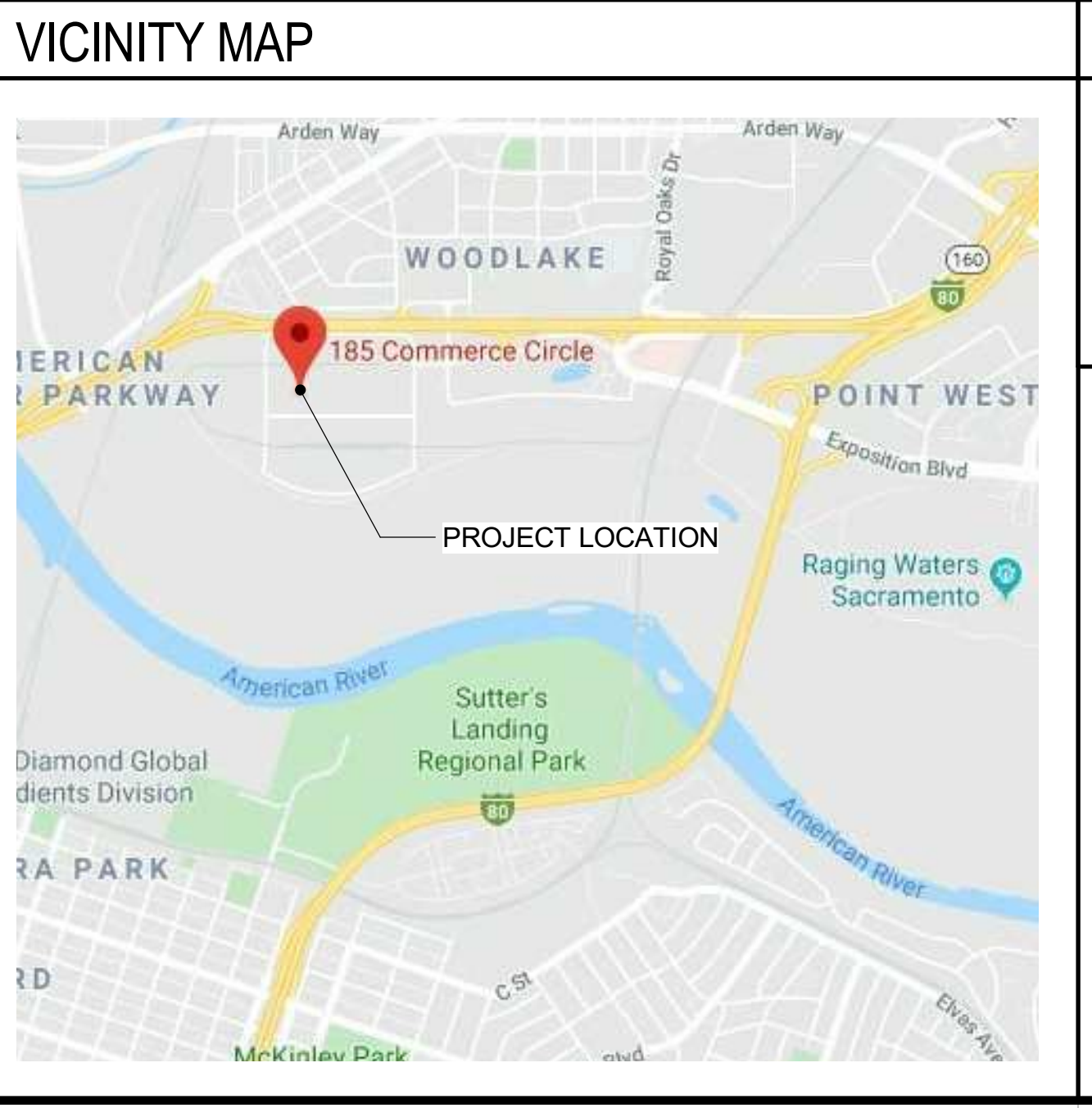
185 COMMERCE CIRCLE
 SACRAMENTO, CA 95815

CLIENT

165 COMMERCE CIRCLE, SUITE D, SACRAMENTO, CA 95815

MARK	DATE	DESCRIPTION

MANAGEMENT	CLIENT PROJECT NO.	CLIENT PROJECT NO.
LIONAKIS PROJECT NO.	019134	
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SCOPE OF PROJECT

REMOVE EXISTING ROOF AND ASSOCIATED FLASHING AND COPING. REPLACE WITH NEW SINGLE-PLY ROOFING, COPING, FLASHING, SCUPPER AND DOWNSPOUTS. REPLACE EXISTING ROOFTOP HVAC UNIT WITH NEW IN-KIND UNIT. INSTALL NEW EXHAUST FANS.

PROJECT DIRECTORY

OWNER
 AMERICAN RIVER FLOOD CONTROL DISTRICT
 165 COMMERCE CIRCLE, SUITE D
 SACRAMENTO, CA 95815
 CONTACT: TIM KERR
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ARCHITECT
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 CONTACT: RICK HENRIKSEN
 PHONE: (916) 368-4468
 EMAIL: rick@saceng.com

SHEET IDENTIFICATION LEGEND

DISCIPLINE DESIGNATORS - LEVEL 1	SHEET TYPE DESIGNATORS
G GENERAL	0 - GENERAL
H HAZARDOUS MATERIALS	1 - PLANS
V SURVEY/MAPPING	2 - ELEVATIONS
B GEOTECHNICAL	3 - SECTIONS
C CIVIL	4 - LARGE SCALE VIEWS
S LANDSCAPE	5 - DETAILS
W STRUCTURAL	6 - SCHEDULES & DIAGRAMS
A ARCHITECTURAL	7 - USER DEFINED
I INTERIORS	8 - USER DEFINED
O EQUIPMENT	9 - 3D REPRESENTATIONS
F FIRE PROTECTION	
P PLUMBING	
D PROCESS	
M MECHANICAL	
E ELECTRICAL	
W DISTRIBUTED ENERGY	
T TELECOMMUNICATIONS	
R RESOURCE	
X OTHER DISCIPLINES	
Z CONTRACTOR/SHOP DRAWINGS	
O OPERATIONS	

_____ BUILDING IDENTIFIER - WHERE OCCURS
 _____ DISCIPLINE DESIGNATOR - LEVEL 1
 _____ DISCIPLINE DESIGNATOR - LEVEL 2
 _____ REPLACE DASH WHERE OCCURS
 _____ SHEET TYPE DESIGNATOR
 _____ SHEET TYPE SUBSET DESIGNATOR
 _____ LEVEL/SEQUENCE DESIGNATOR
 _____ AREA IDENTIFIER - WHERE OCCURS
 _____ UNIQUE PORTION IDENTIFIER - WHERE OCCURS

C.A-123AB

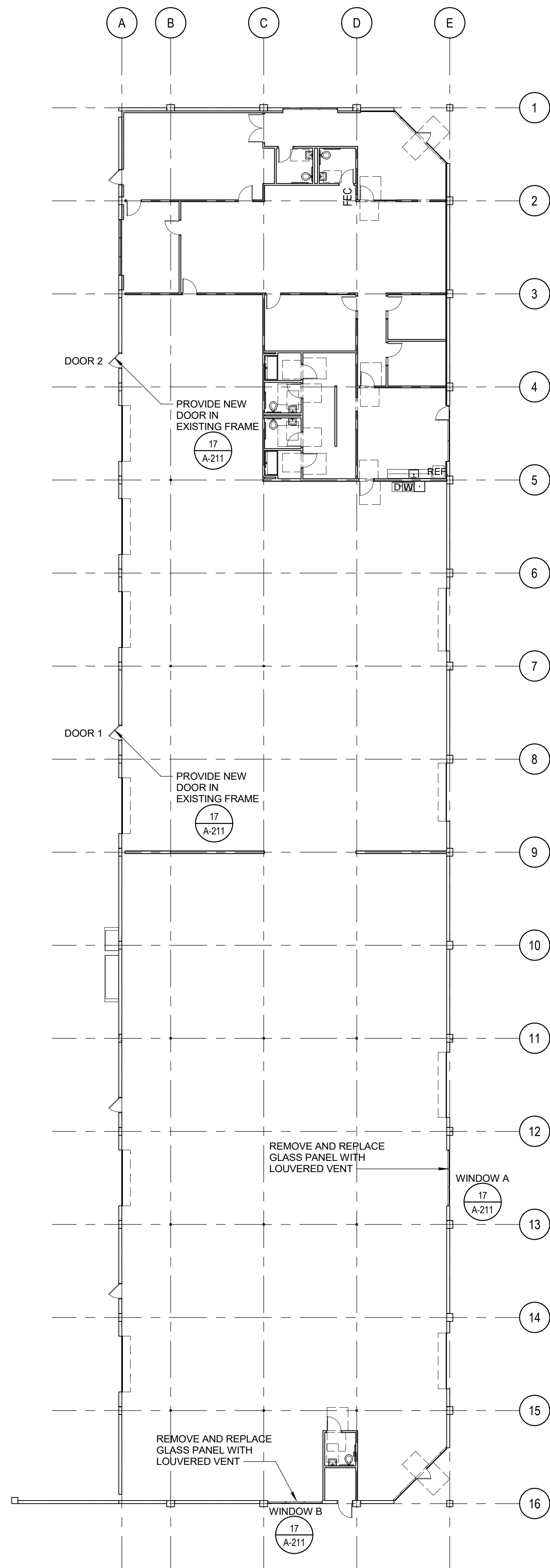
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COVER SHEET

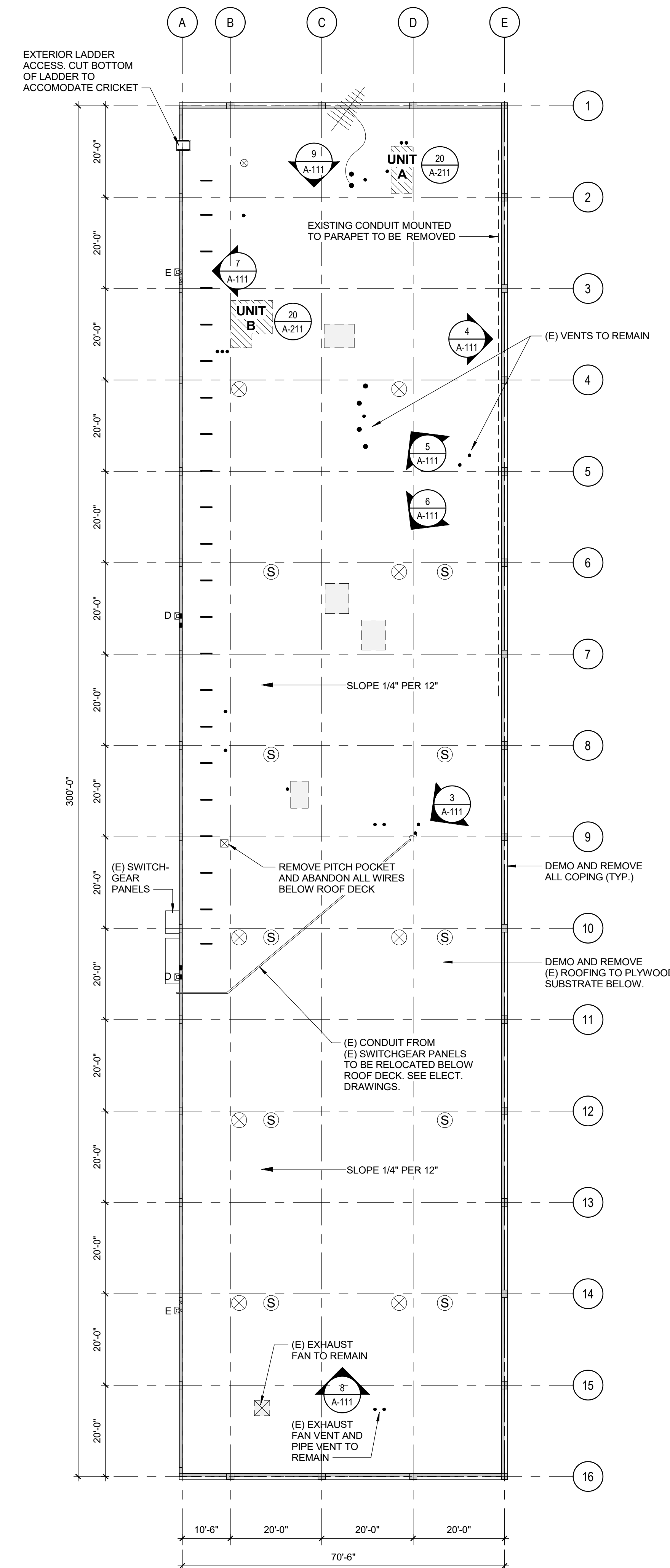
SHEET

G-001

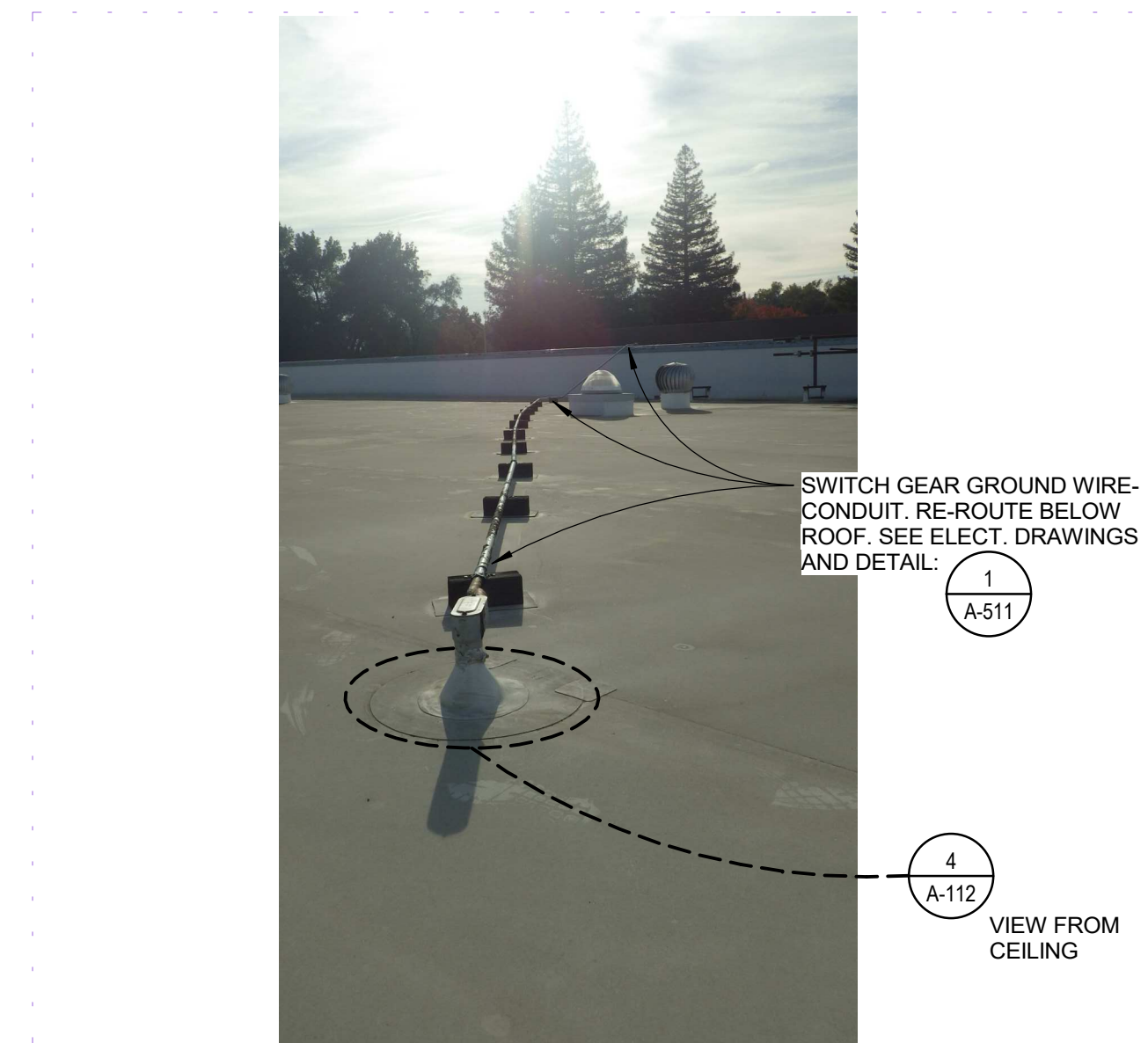
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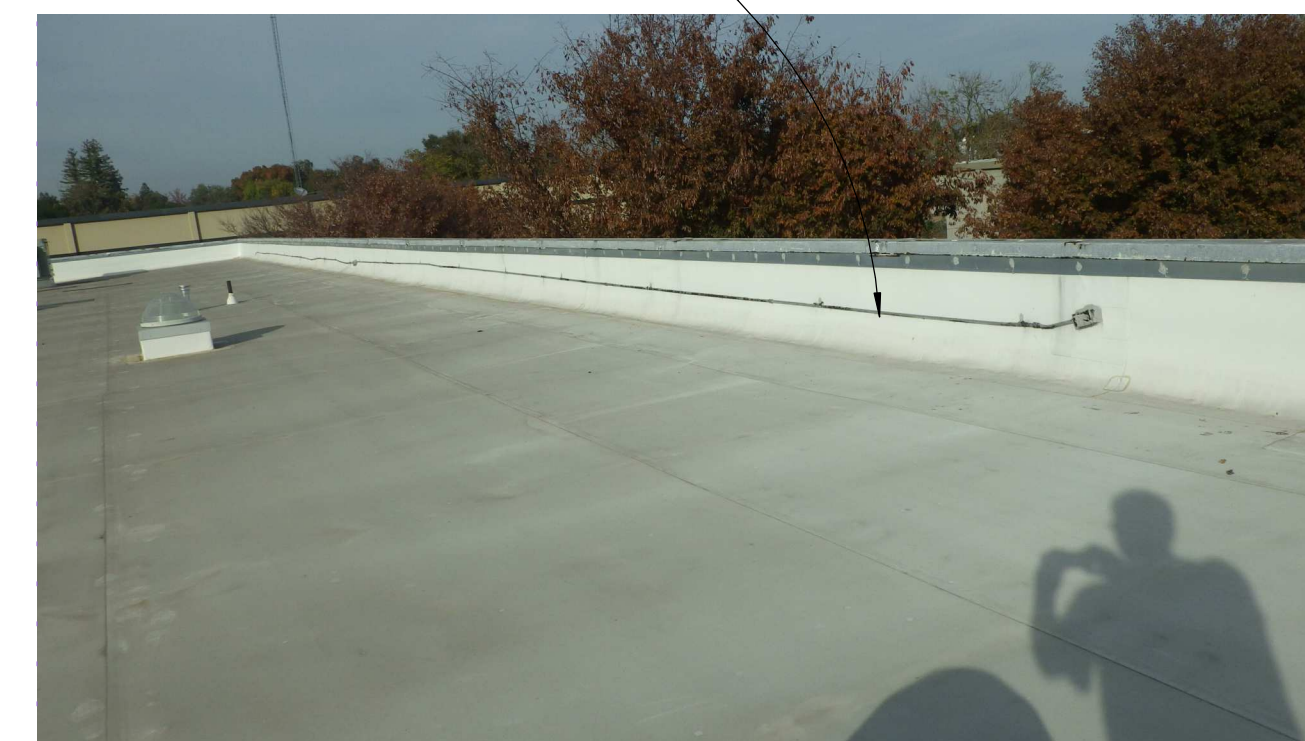
1 EXISTING / DEMO FLOOR PLAN - OVERALL
SCALE 1/16" = 1'-0"



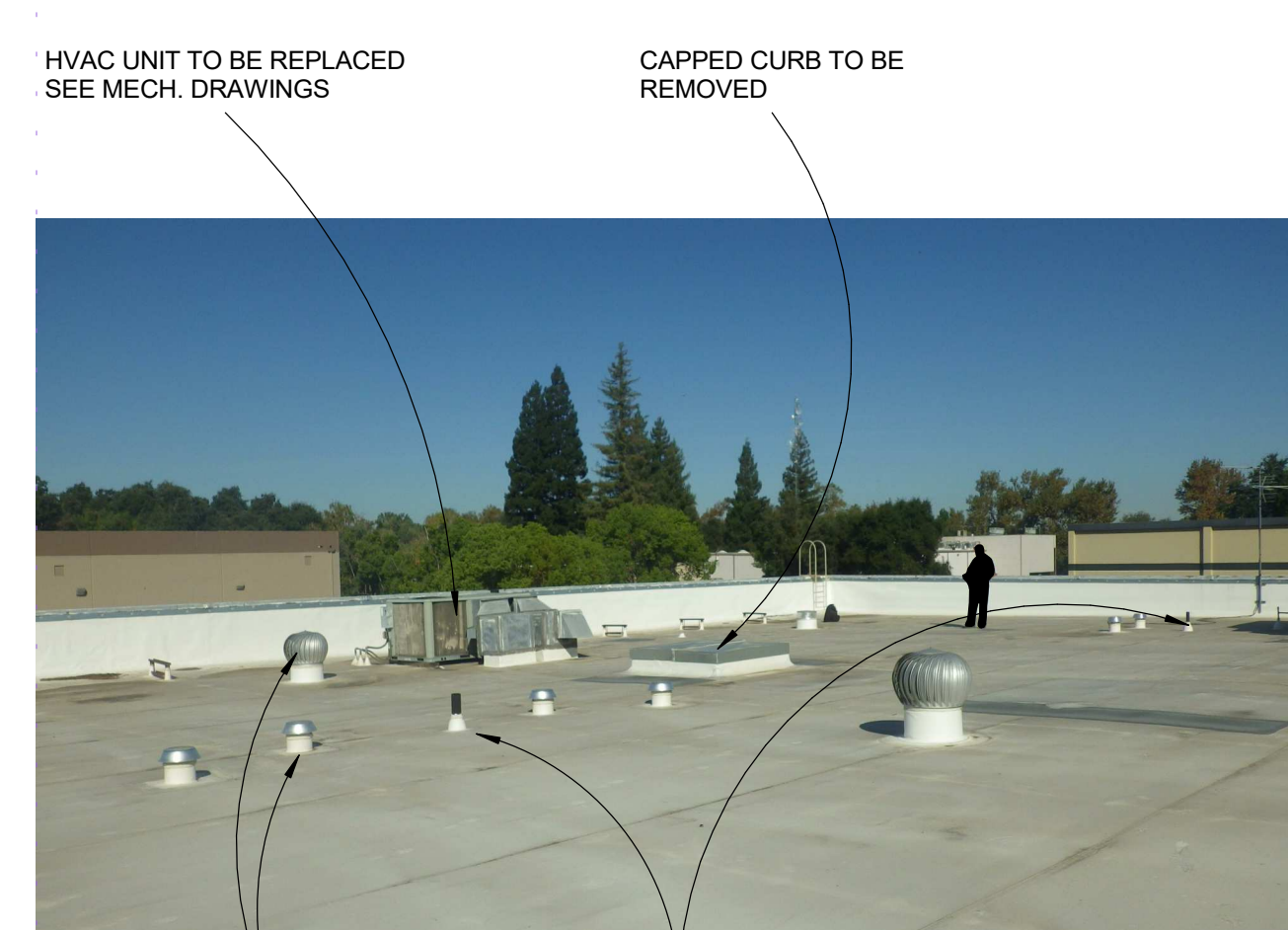
2 EXISTING / DEMO ROOF PLAN - OVERALL
SCALE 1/16" = 1'-0"



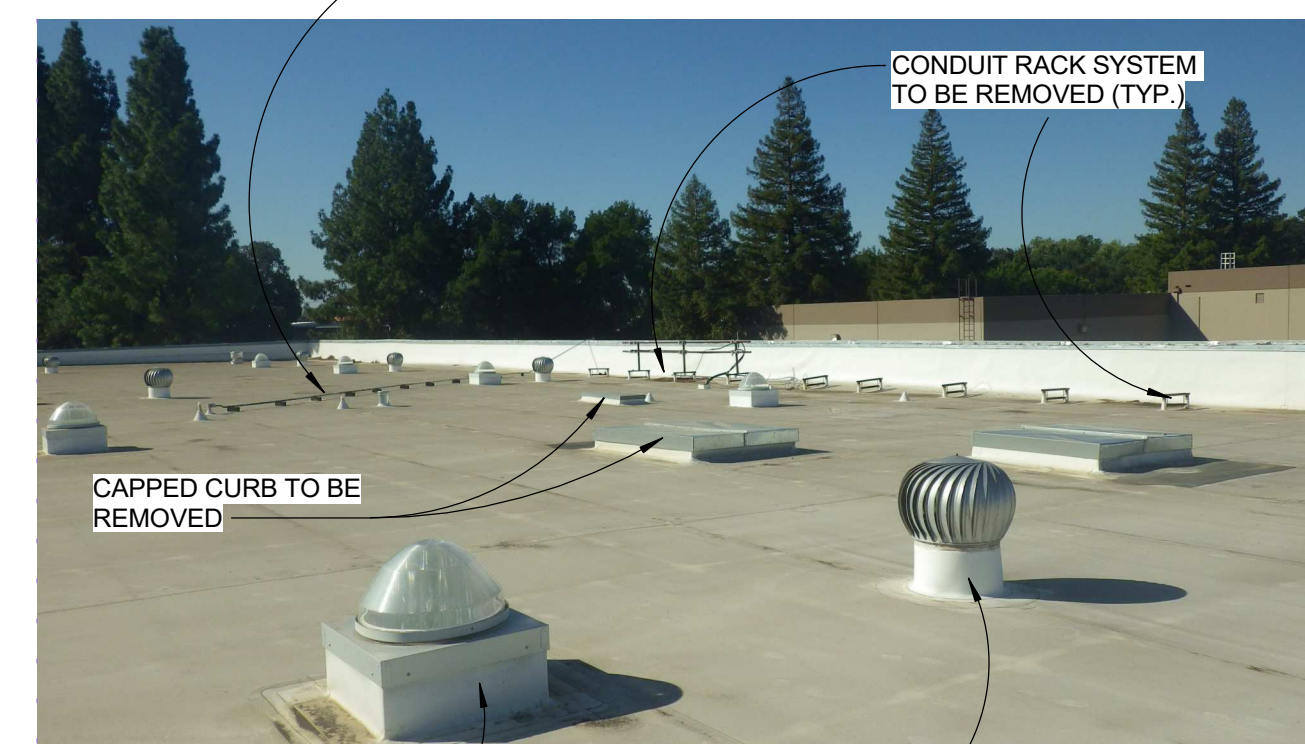
3 (E) SWITCH GEAR CONDUIT
12" = 1'-0"



4 (E) CONDUIT AT PARAPET
12" = 1'-0"



5 (E) MISC. PENETRATIONS 1
12" = 1'-0"



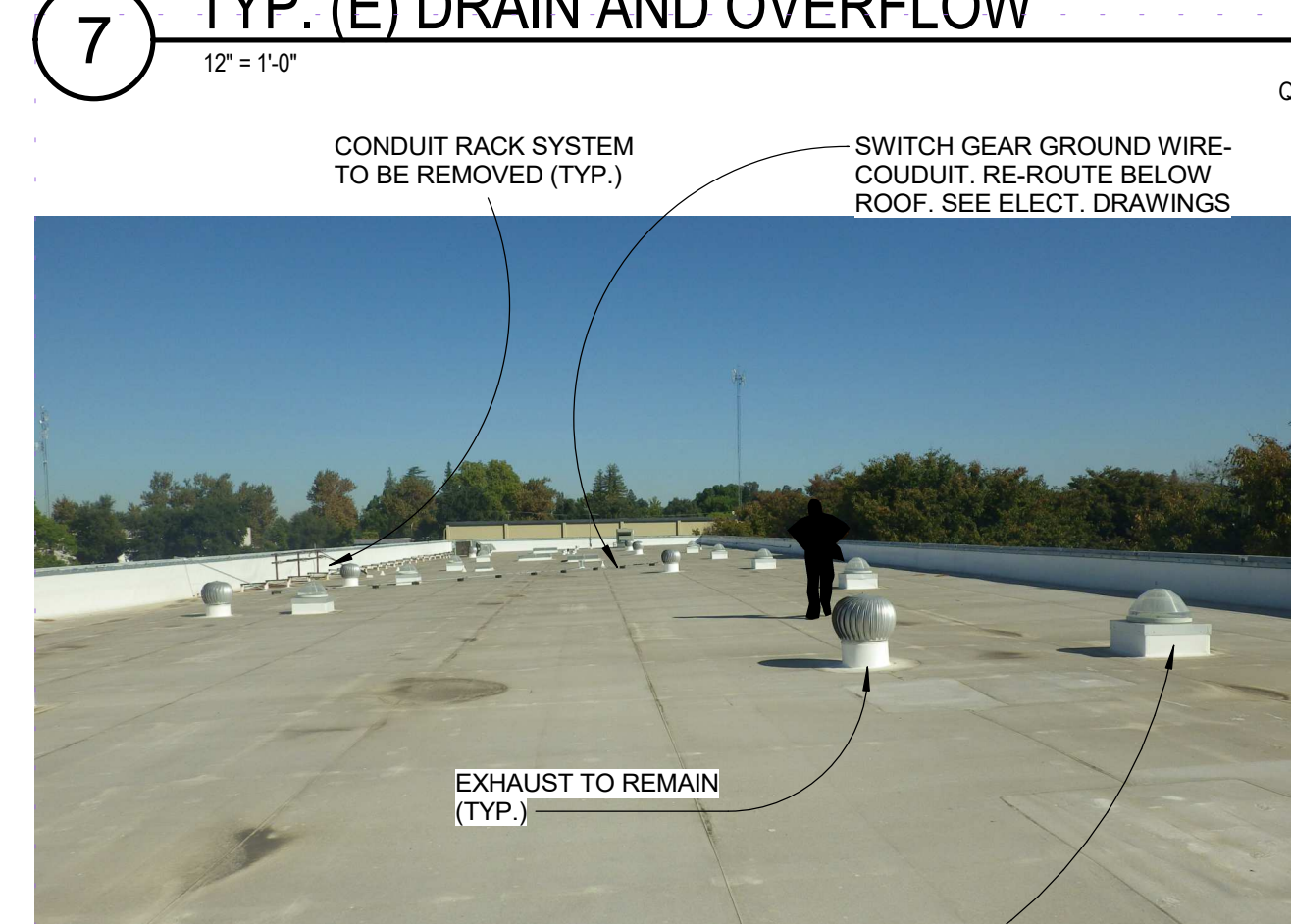
6 (E) MISC. PENETRATIONS 2
12" = 1'-0"

ROOF PLAN LEGEND

- (E) EXHAUST FAN
- (E) SKY LIGHTS
- (E) PIPE / CONDUIT PENETRATIONS. MOST PENETRATIONS OBSERVED ARE NOT IN USE. VERIFY THEN REMOVE, AND REPAIR ROOF SHEATHING.
- (E) MECHANICAL UNITS. SEE 20 A-211
- (E) ABANDONED MECH. UNIT CURB TO BE REMOVED AND ROOF DECK REPAIRED.
- (E) CONDUIT RACK - DEMO AND REMOVE ALL RACK AND SUPPORT STRUCTURE
- NEW SCUPPER & OVERFLOW DRAINS 8 A-511
- EXISTING SCUPPER & OVERFLOW DRAINS 8 A-511
- EXISTING SCUPPER & OVERFLOW DRAINS REMOVED AND INFILLED WITH CONC. 14 A-211
- PATH OF WALK-WAY PADS
- (E) ANTENNA TO BE SALVAGED AND REINSTALLED IN SAME LOCATION AFTER WORK IS COMPLETE.



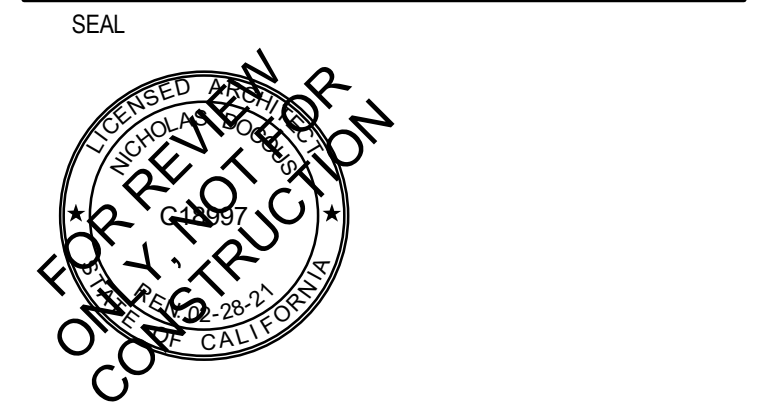
7 TYP. (E) DRAIN AND OVERFLOW
12" = 1'-0"

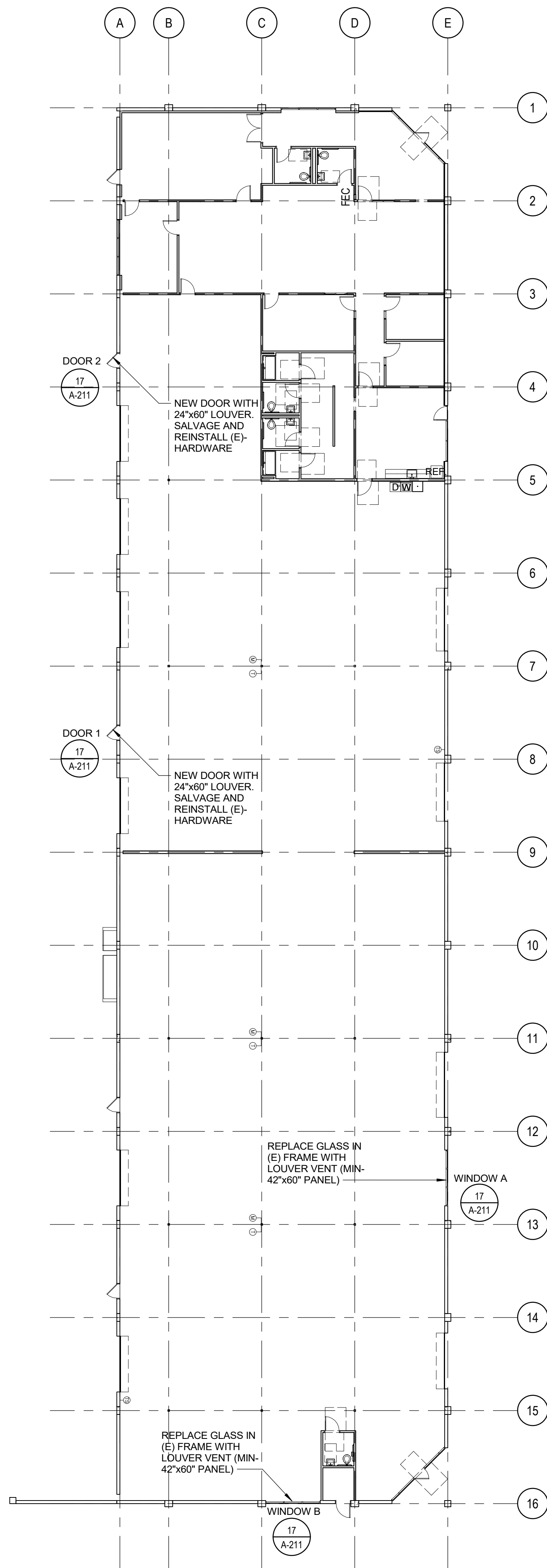


8 (E) ROOF OVERVIEW FROM SOUTH END
12" = 1'-0"



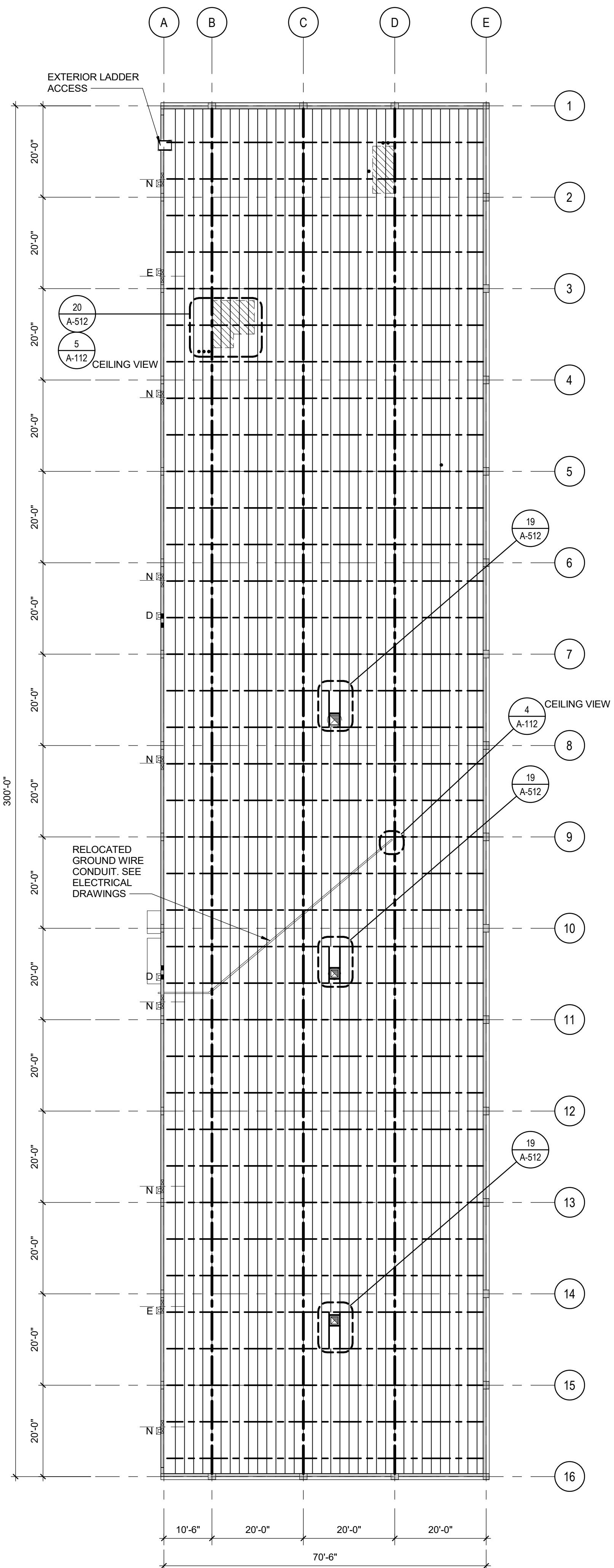
9 (E) ROOF OVERVIEW FROM NORTH END
12" = 1'-0"





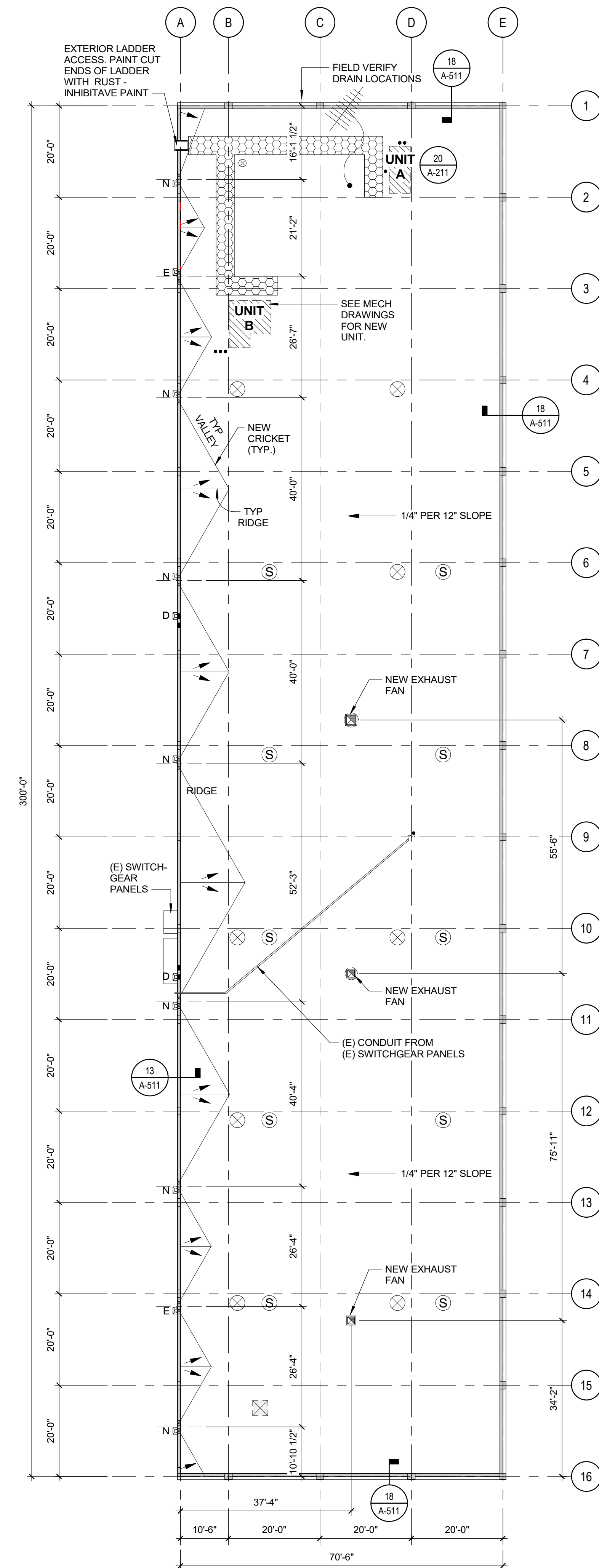
1 NEW FLOOR PLAN - OVERALL

SCALE: 1/16" = 1'-0"



2 ROOF FRAMING PLAN - OVERALL

SCALE: 1/16" = 1'-0"



3 NEW ROOF PLAN - OVERALL

SCALE: 1/16" = 1'-0"

ROOF PLAN LEGEND

- (E) EXHAUST FAN
- (E) SKY LIGHTS
- (E) PIPE / CONDUIT PENETRATIONS. MOST PENETRATIONS OBSERVED ARE NOT IN USE. VERIFY THEN REMOVE, AND REPAIR ROOF SHEATHING.
- (E) MECHANICAL UNITS. SEE 20 A-211
- (E) ABANDONED MECH. UNIT CURB TO BE REMOVED AND ROOF DECK REPAIRED.
- (E) CONDUIT RACK - DEMO AND REMOVE ALL RACK AND SUPPORT STRUCTURE
- NEW SCUPPER & OVERFLOW DRAINS
- EXISTING SCUPPER & OVERFLOW DRAINS
- EXISTING SCUPPER & OVERFLOW DRAINS REMOVED AND INFILLED WITH CONC.
- PATH OF WALK-WAY PADS
- (E) ANTENNA TO BE SALVAGED AND REINSTALLED IN SAME LOCATION AFTER WORK IS COMPLETE.

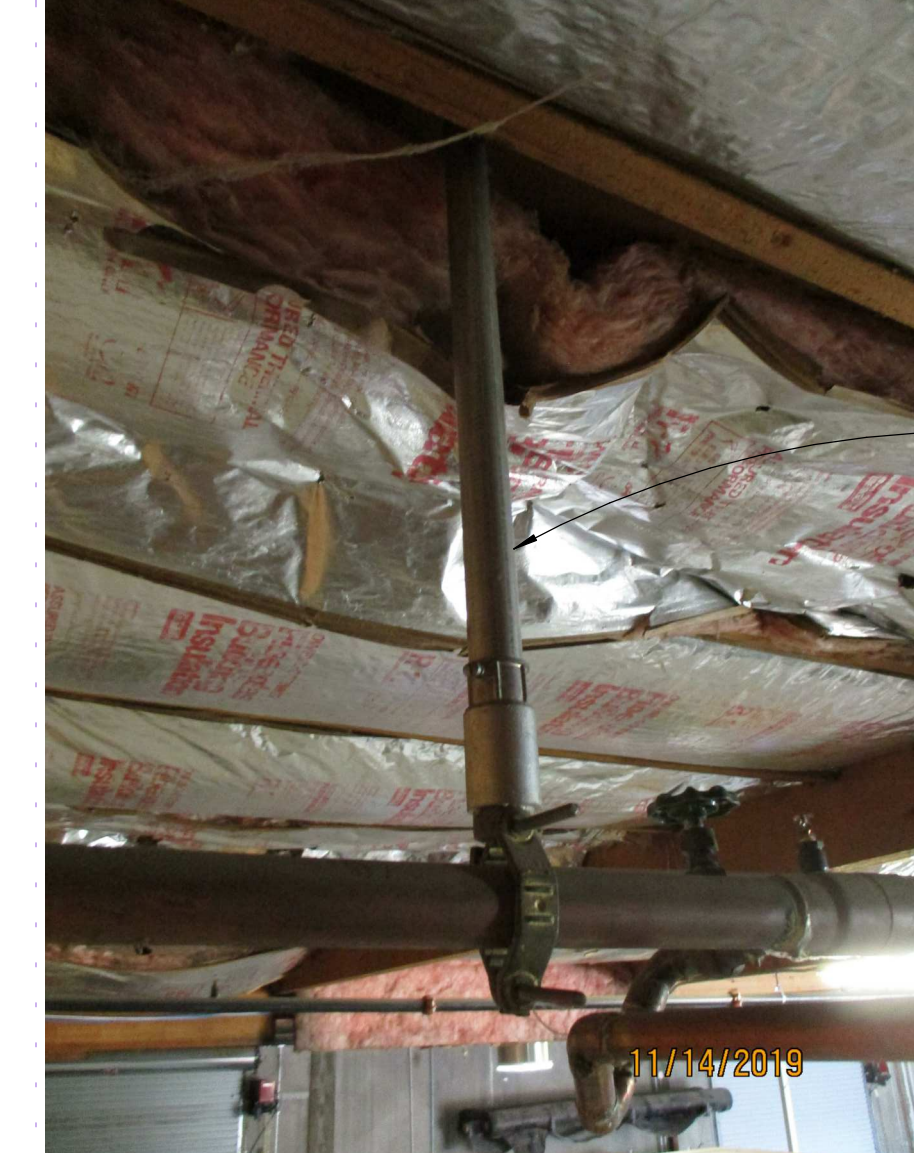
GENERAL NOTES

- GENERAL NOTES:**
- REMOVE EXISTING HVAC UNIT TO REMAIN DURING ROOFING WORK. RE-SET & RECONNECT ALL PIPING, CONDUIT, & WIRING TO UNIT. TEST THAT UNIT HAS BEEN RETURNED TO FULLY OPERATIONAL STATE.
 - REMOVE AND RE-SET ALL EXISTING SOLATUBE SKYLITES AND ALL EXHAUST FANS TO ACCOMMODATE RE-ROOFING.
- ALLOWANCE:**
- INCLUDE A TOTAL COST OF \$10,000.00 FOR DEMOLITION & REMOVAL AND REPLACEMENT OF ROOF SHEATHING THAT HAS EVIDENCE OF DRY ROT. ASSUME EXISTING PLYWOOD IS 5/8" THICK x 4' x 8' AND NAILED WITH 8d @ 4" O.C. (PERIMETER) AND 12" O.C. (FIELD). SEE SPECS FOR MORE ALLOWANCE REQUIREMENTS.
 - INCLUDE A TOTAL COST OF \$2,500.00 TO REMOVE / REPLACE / REINSTALL ANY MISSING, LOOSE, OR DAMAGED R-11 BATT INSULATION AT UNDERSIDE OF ROOF DECK. SEE SPECS FOR MORE ALLOWANCE REQUIREMENTS.



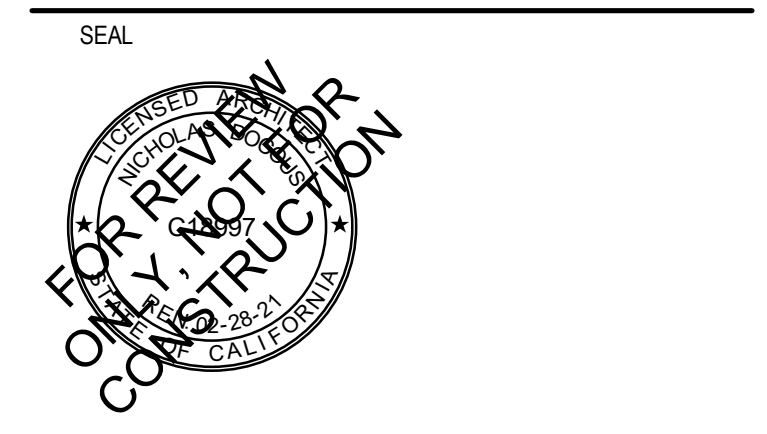
5 CEILING AT MECH UNIT B

12' = 1'-0"



4 CEILING AT GROUND WIRE CONDUIT

12' = 1'-0"



PROJECT

185 COMMERCE CIRCLE
SACRAMENTO, CA 95815

CLIENT

165 COMMERCE CIRCLE, SUITE D, SACRAMENTO, CA
95815

ISSUED

MARK	DATE	DESCRIPTION

MANAGEMENT

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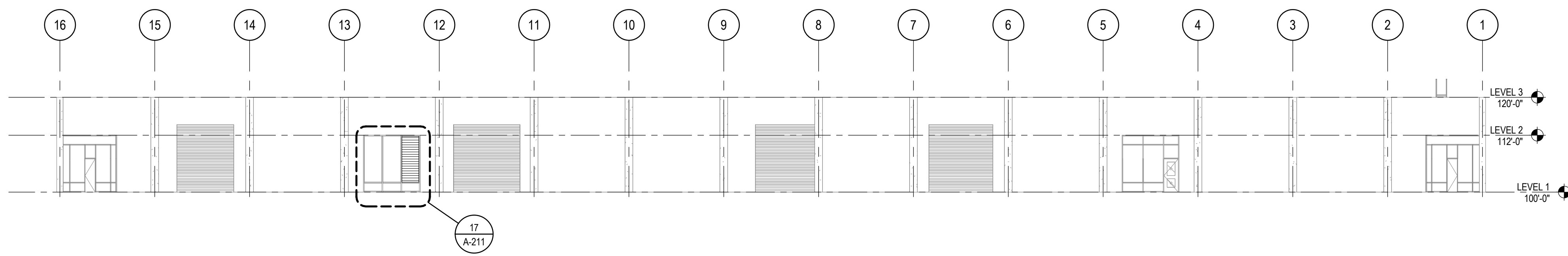
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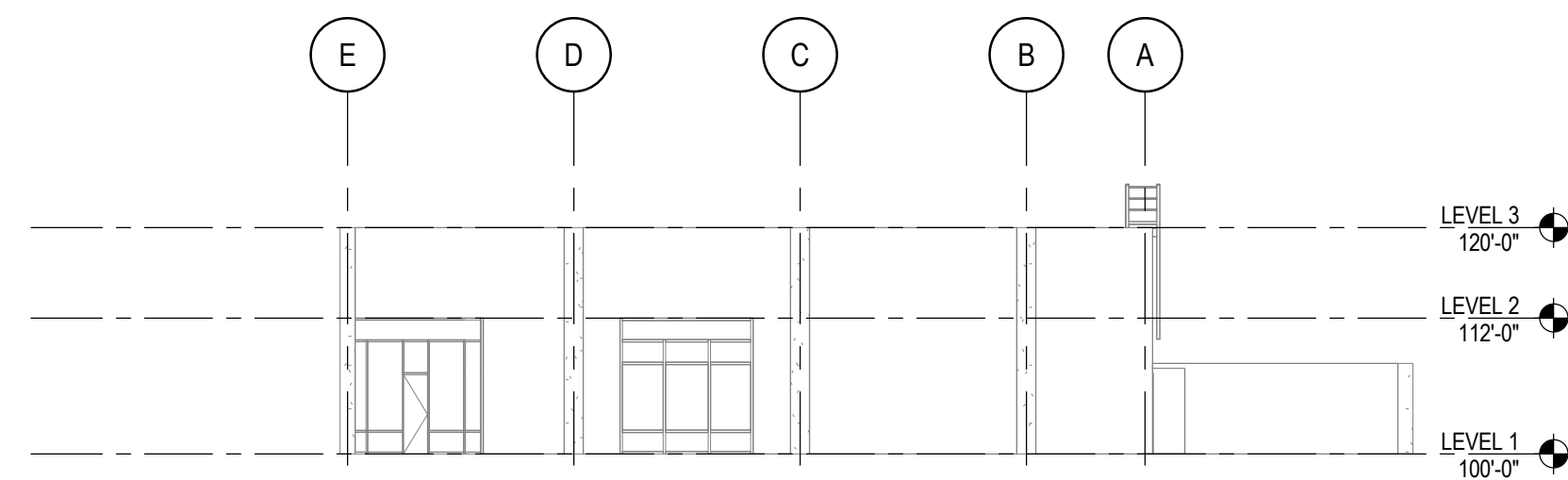
PLANS - FLOOR & ROOF
- NEW OVERALL

SHEET

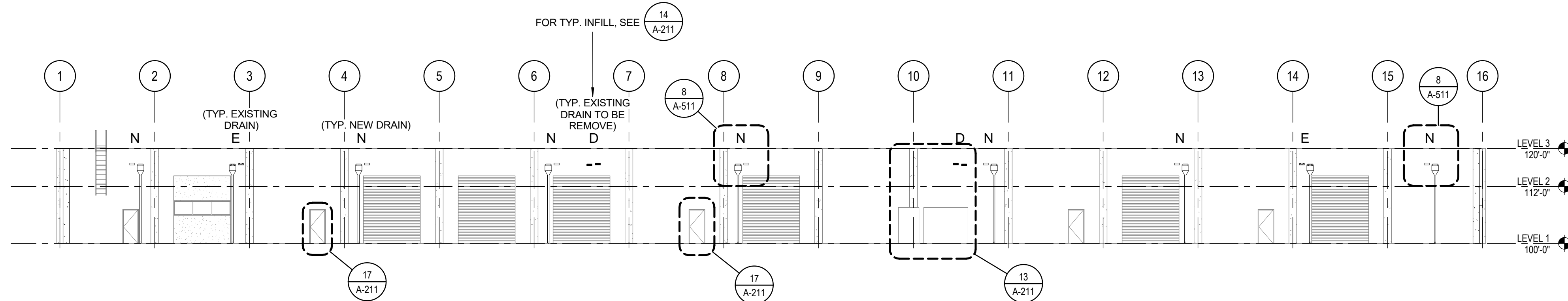
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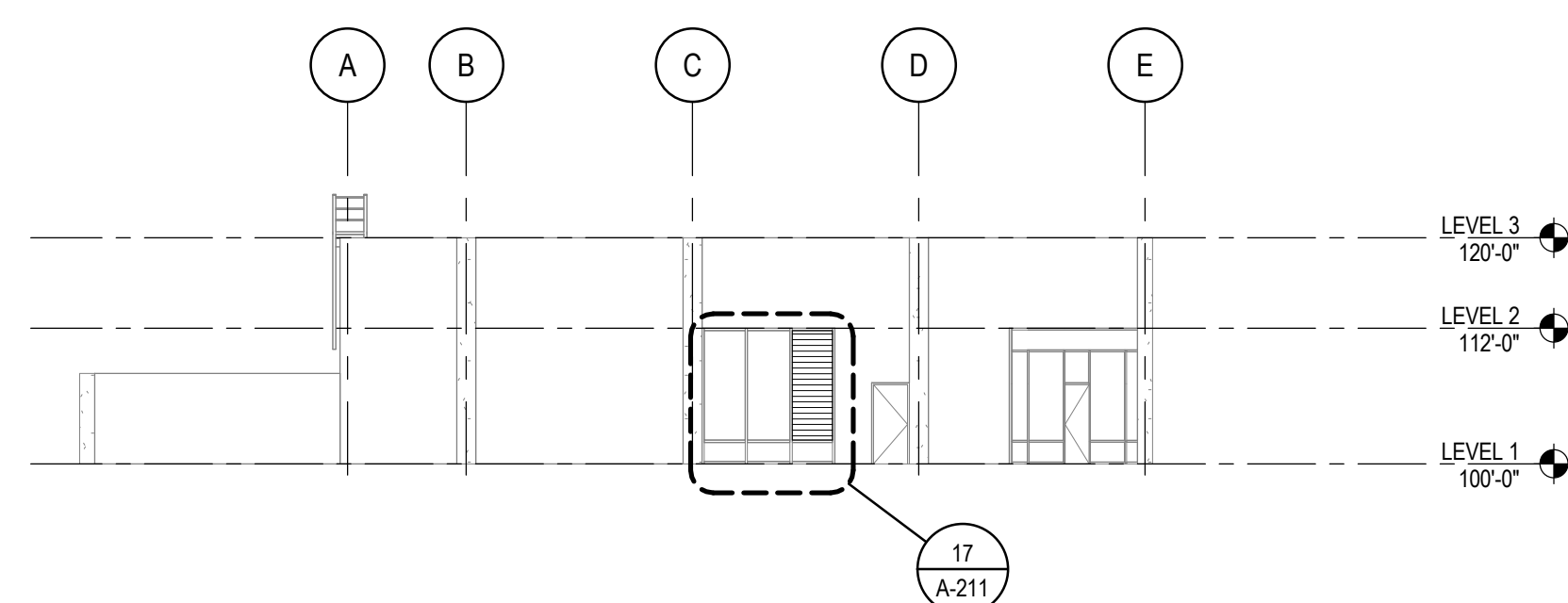
1 EAST EXTERIOR ELEVATION
SCALE 1/16" = 1'-0"



6 NORTH EXTERIOR ELEVATION
SCALE 1/16" = 1'-0"



3 WEST EXTERIOR ELEVATION
SCALE 1/16" = 1'-0"

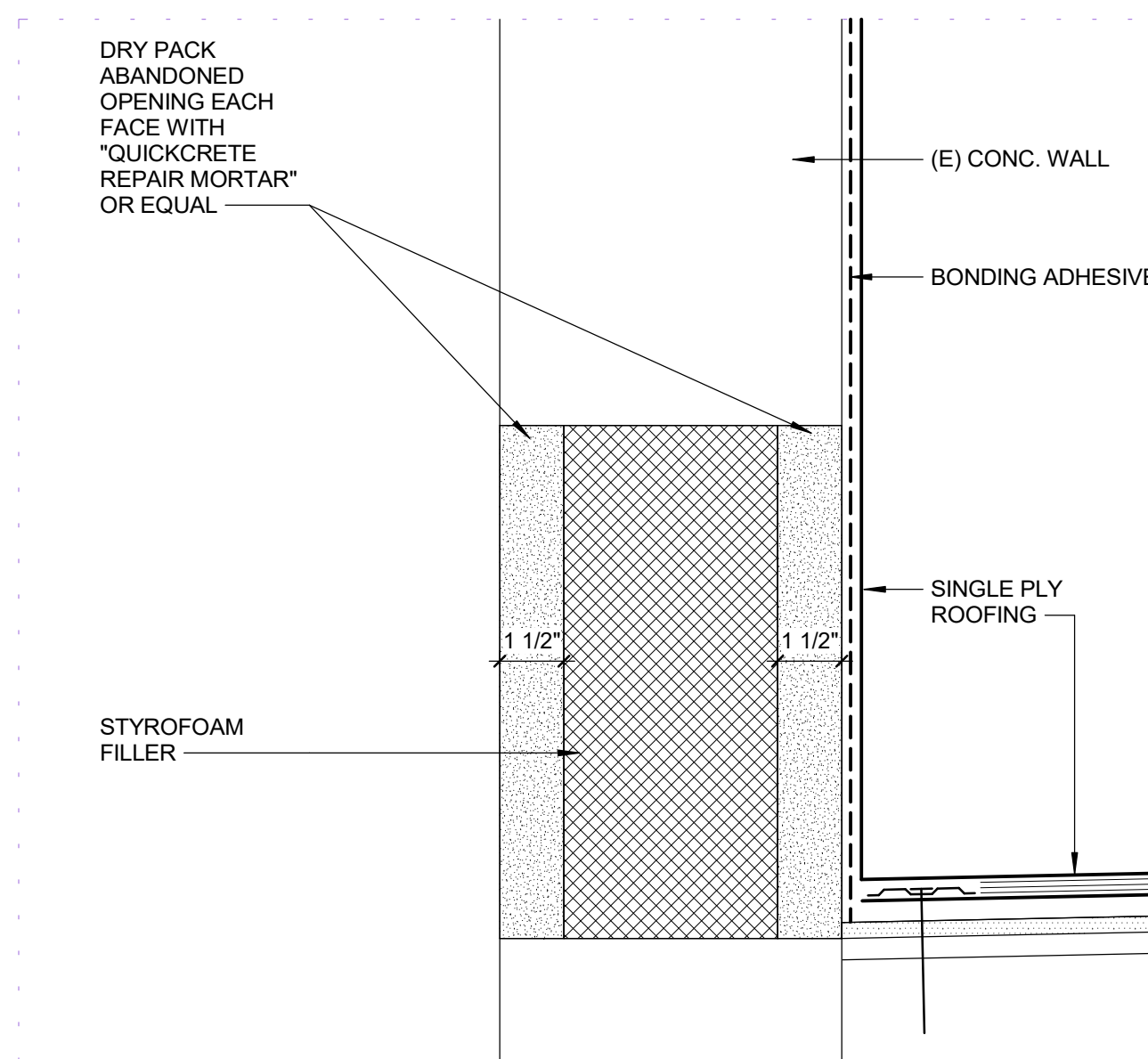


8 SOUTH EXTERIOR ELEVATION
SCALE 1/16" = 1'-0"

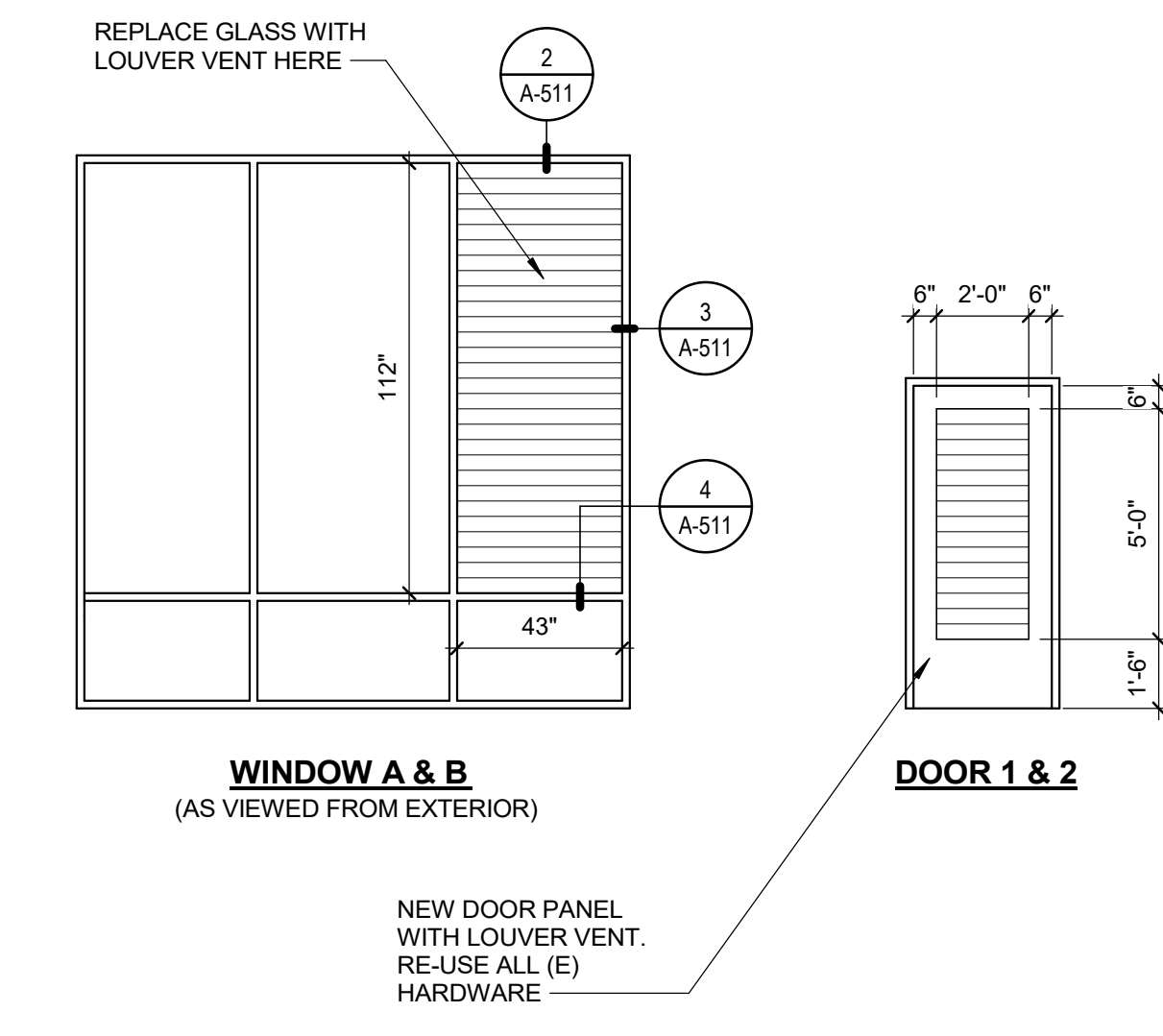


(E) SCUPPER DRAIN AND OVERFLOW TO BE REMOVED AND INFILLED
SEE 14 A-211
(E) CONDUIT TO BE REMOVED FROM ROOF AND RE-ROUTED THRU (E) CONC. WALL AT UNDER SIDE OF ROOF FRAMING.
SEE 1 A-511
(E) DRAIN PIPE TO BE REMOVED
(E) SWITCH GEAR PANELS TO REMAIN

13 (E) DRAIN MODIFICATION AT ELECT. SWITCH GEAR
1/2" = 1'-0"



14 (E) SCUPPER / OVERFLOW INFILL
3" = 1'-0"



17 WINDOW & DOOR LOUVER VENT LOCATIONS
1/4" = 1'-0"



UNIT B



UNIT B DEMO EXISTING HVAC UNIT, PIPE & CONDUITS, AND DUCT WORK. PATCH HOLES IN (E) ROOF & PREP FOR INSTALLATION OF NEW UNIT WITH NEW PIPE, CONDUIT & DUCT PENETRATIONS.



UNIT A



UNIT A EXISTING HVAC UNIT, PIPE, & CONDUIT PENETRATIONS TO REMAIN

20 (E) HVAC UNITS
1/2" = 1'-0"

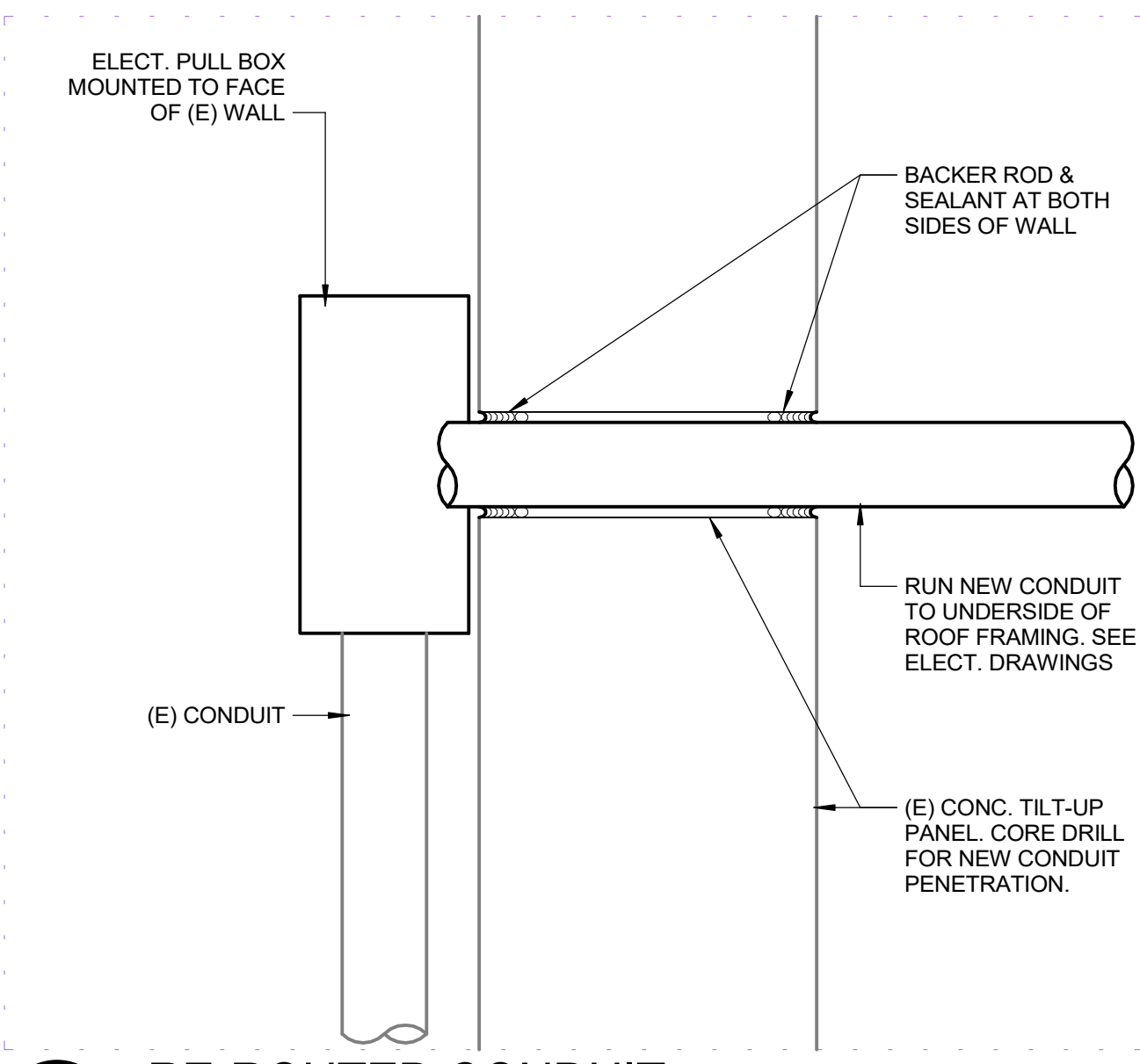


MARK	DATE	DESCRIPTION

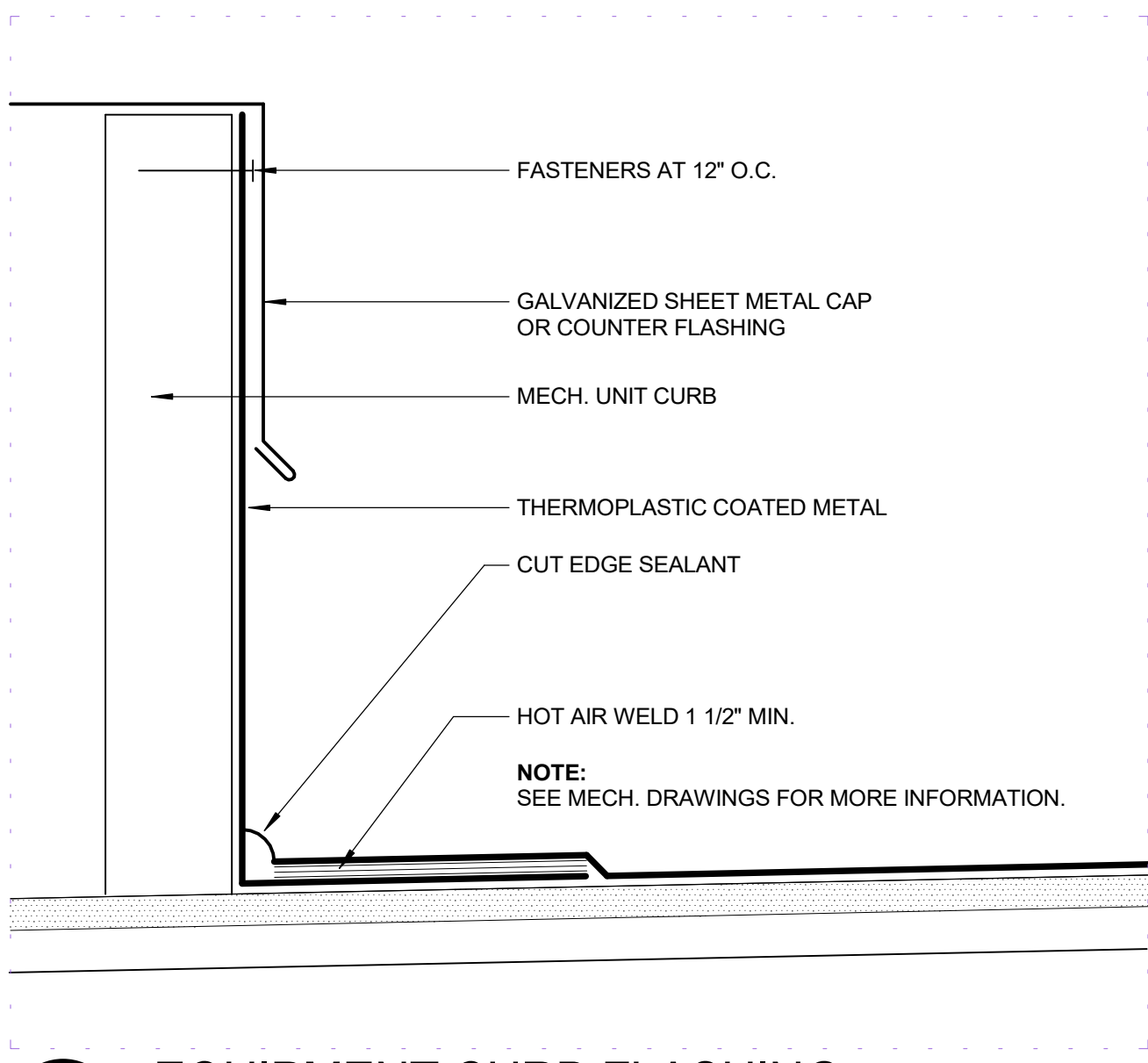
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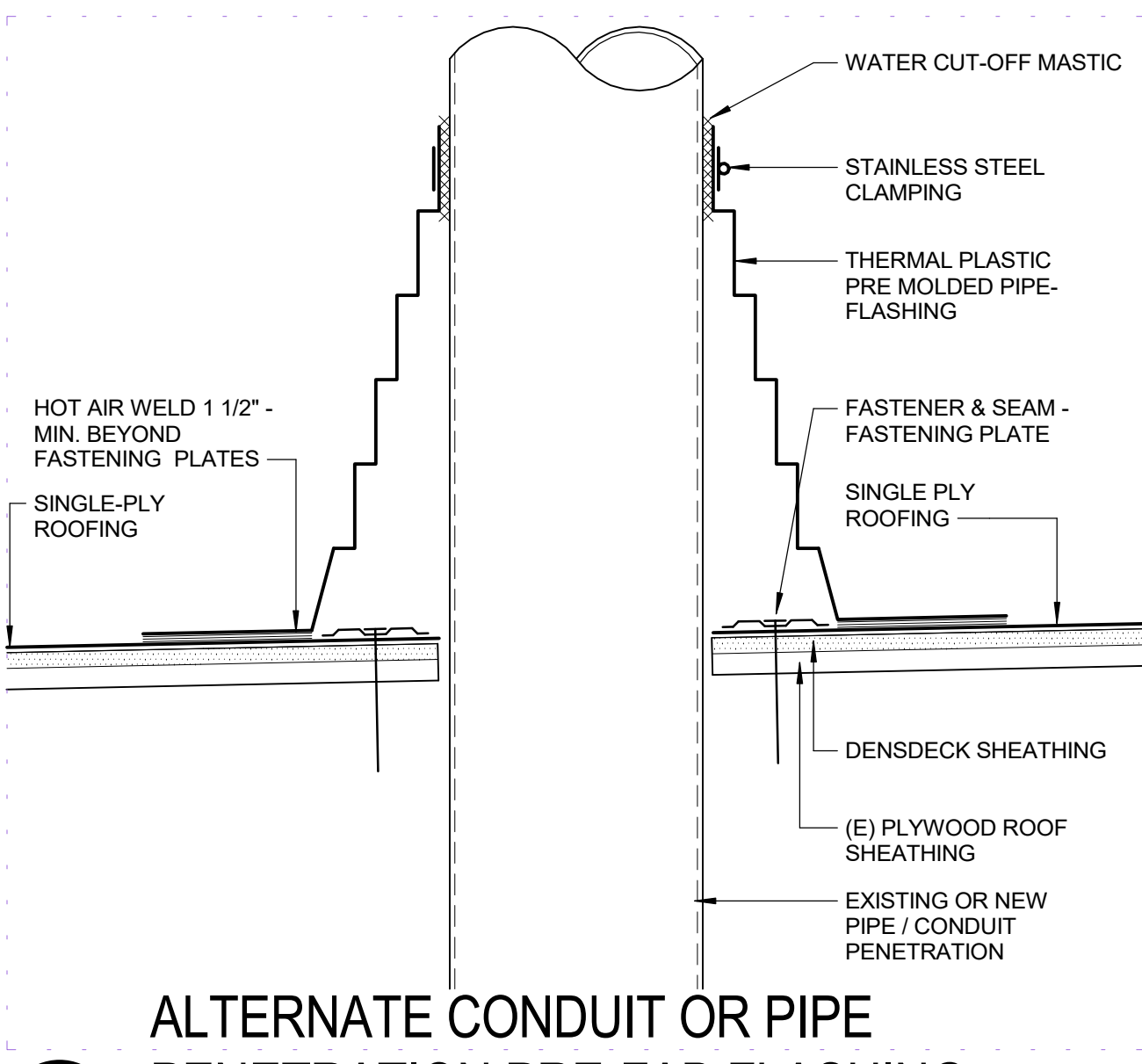
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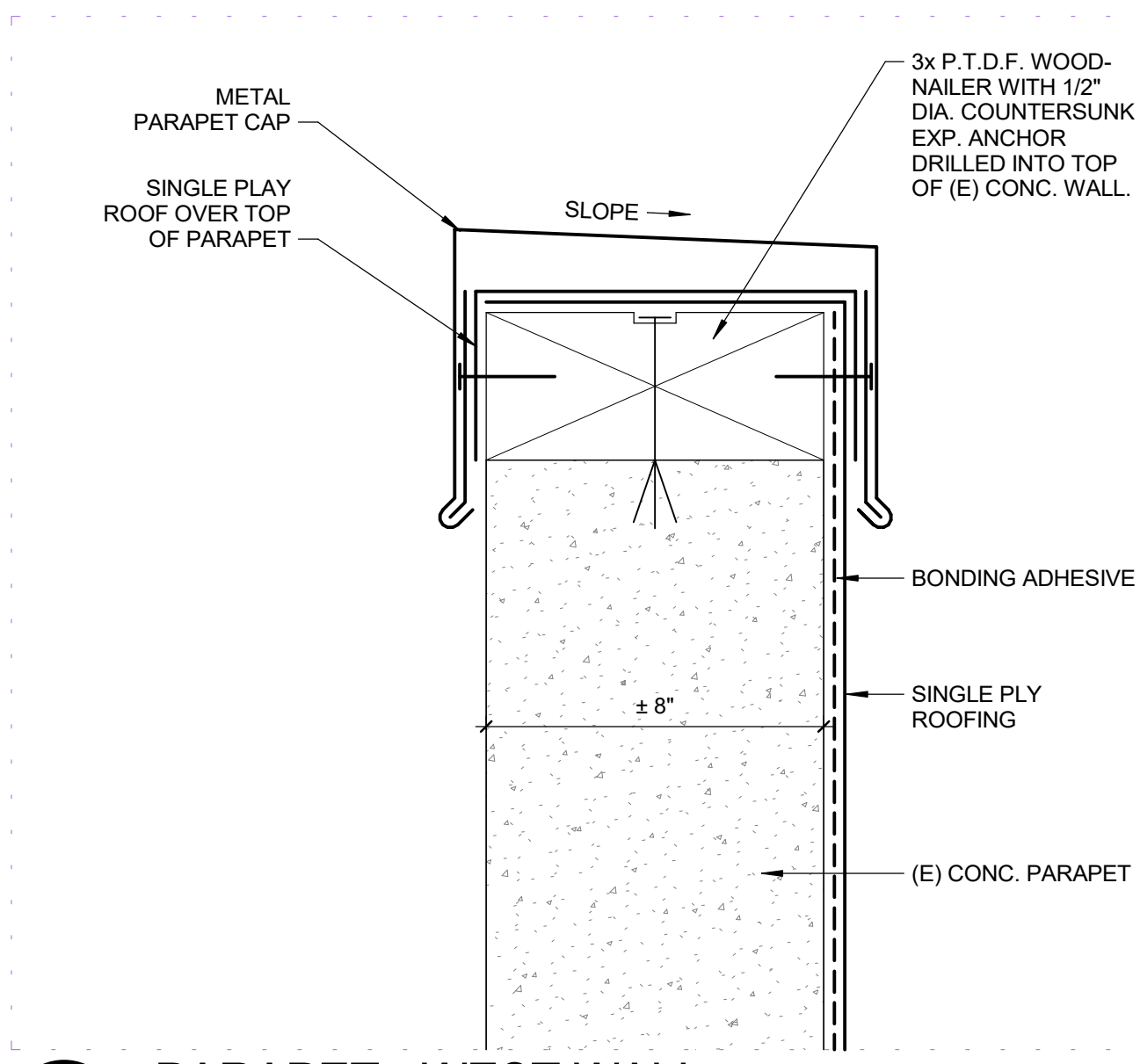
1 RE-ROUTED CONDUIT



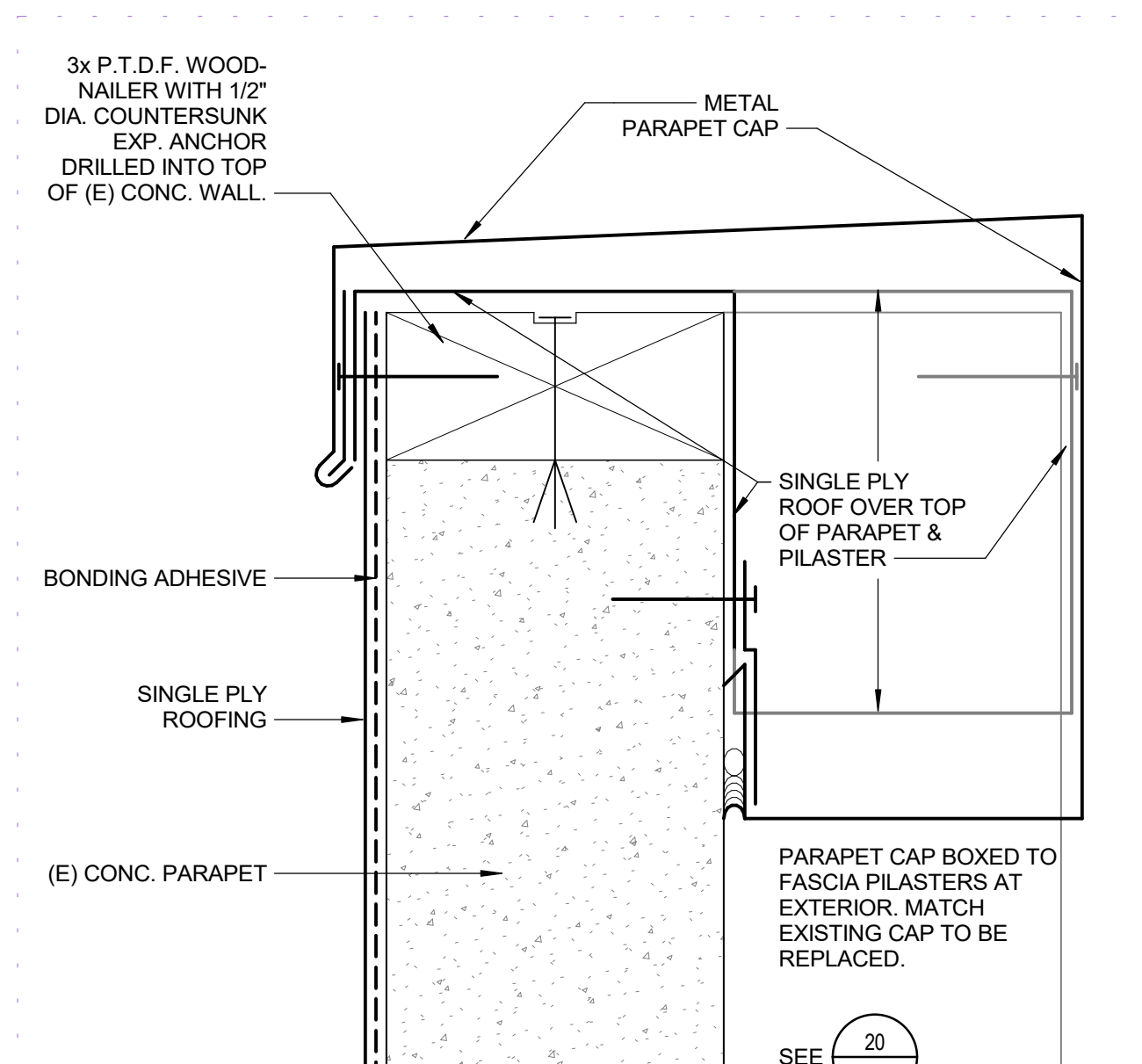
5 EQUIPMENT CURB FLASHING



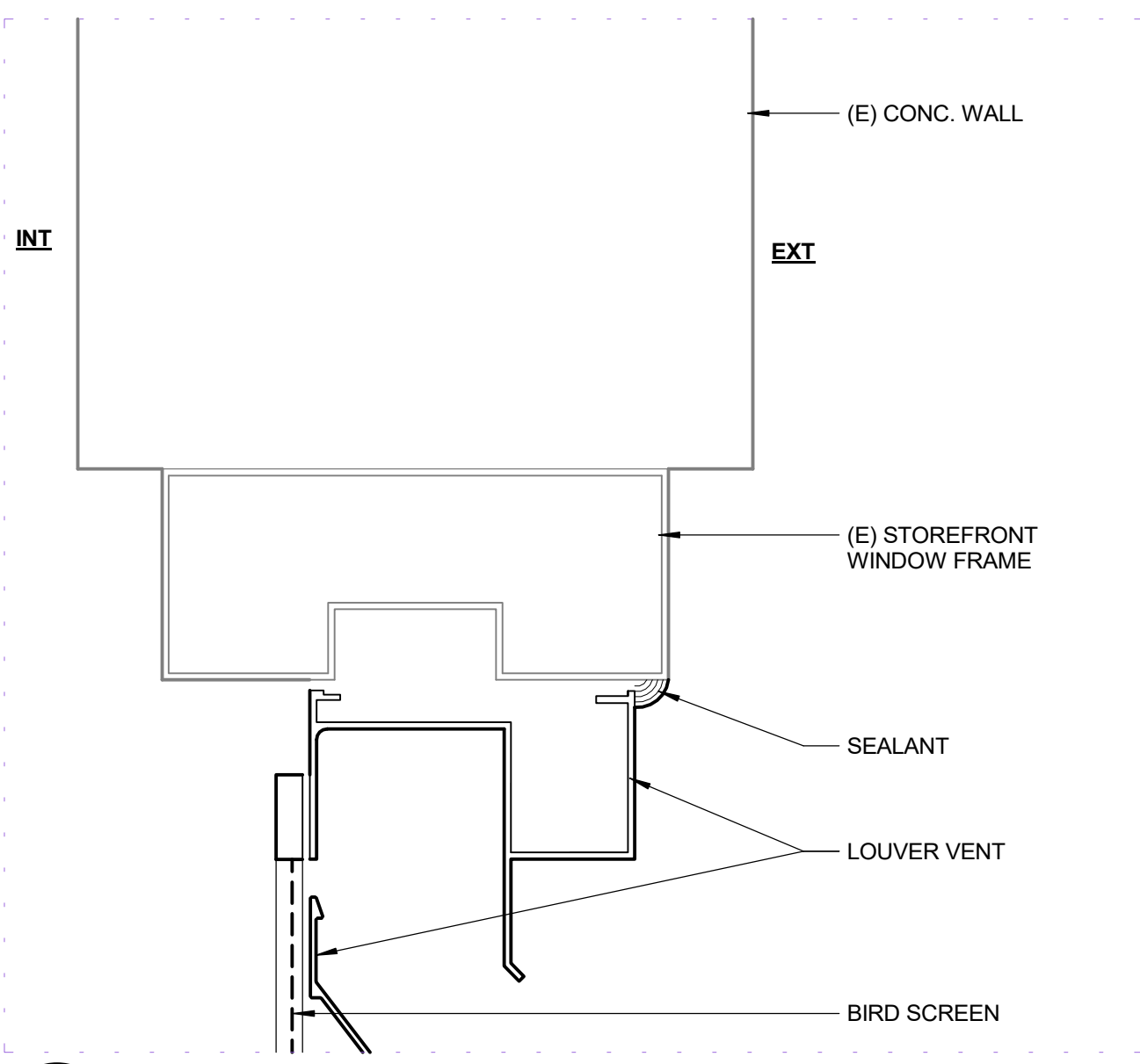
9 ALTERNATE CONDUIT OR PIPE PENETRATION PRE-FAB FLASHING



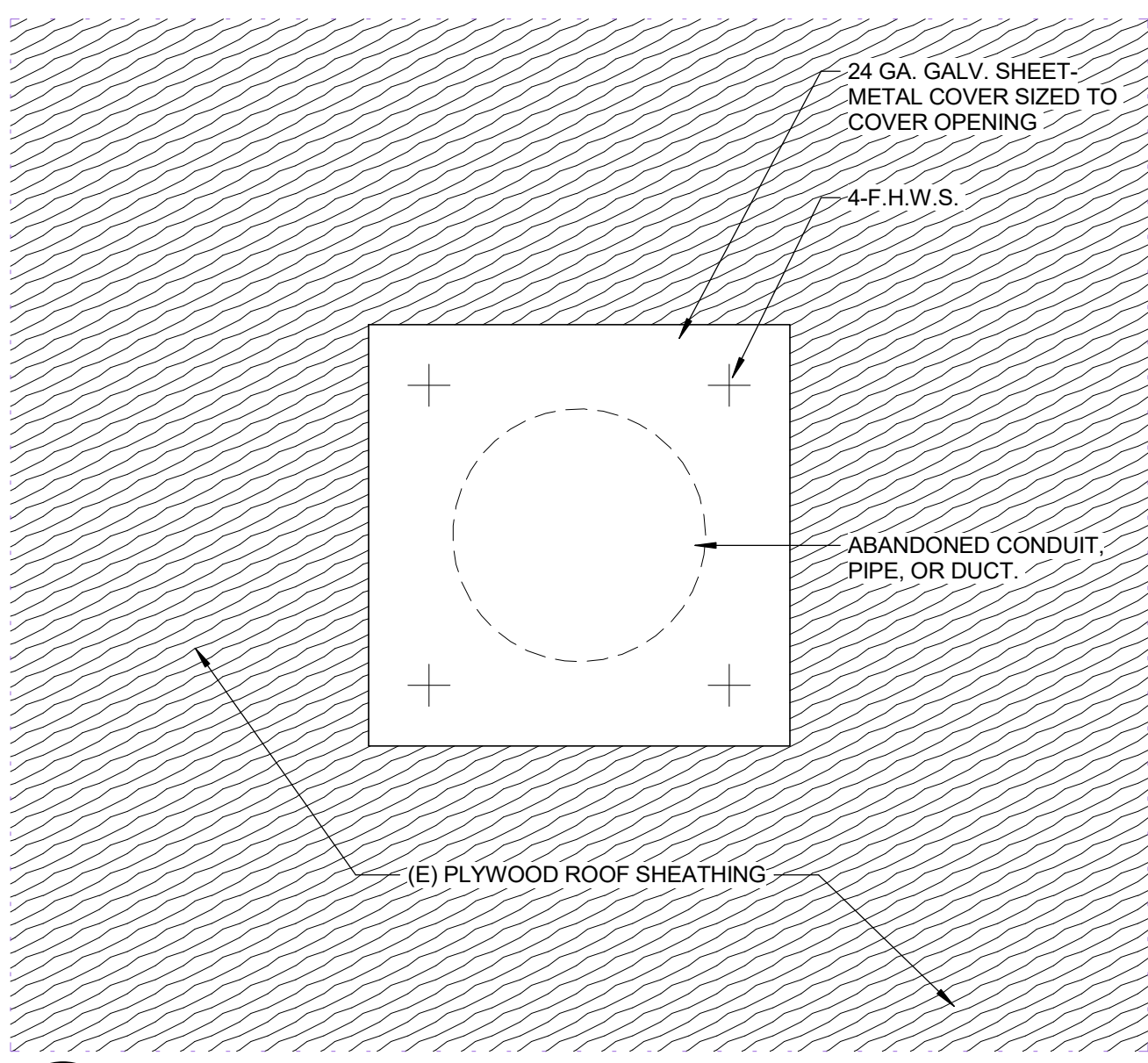
13 PARAPET - WEST WALL



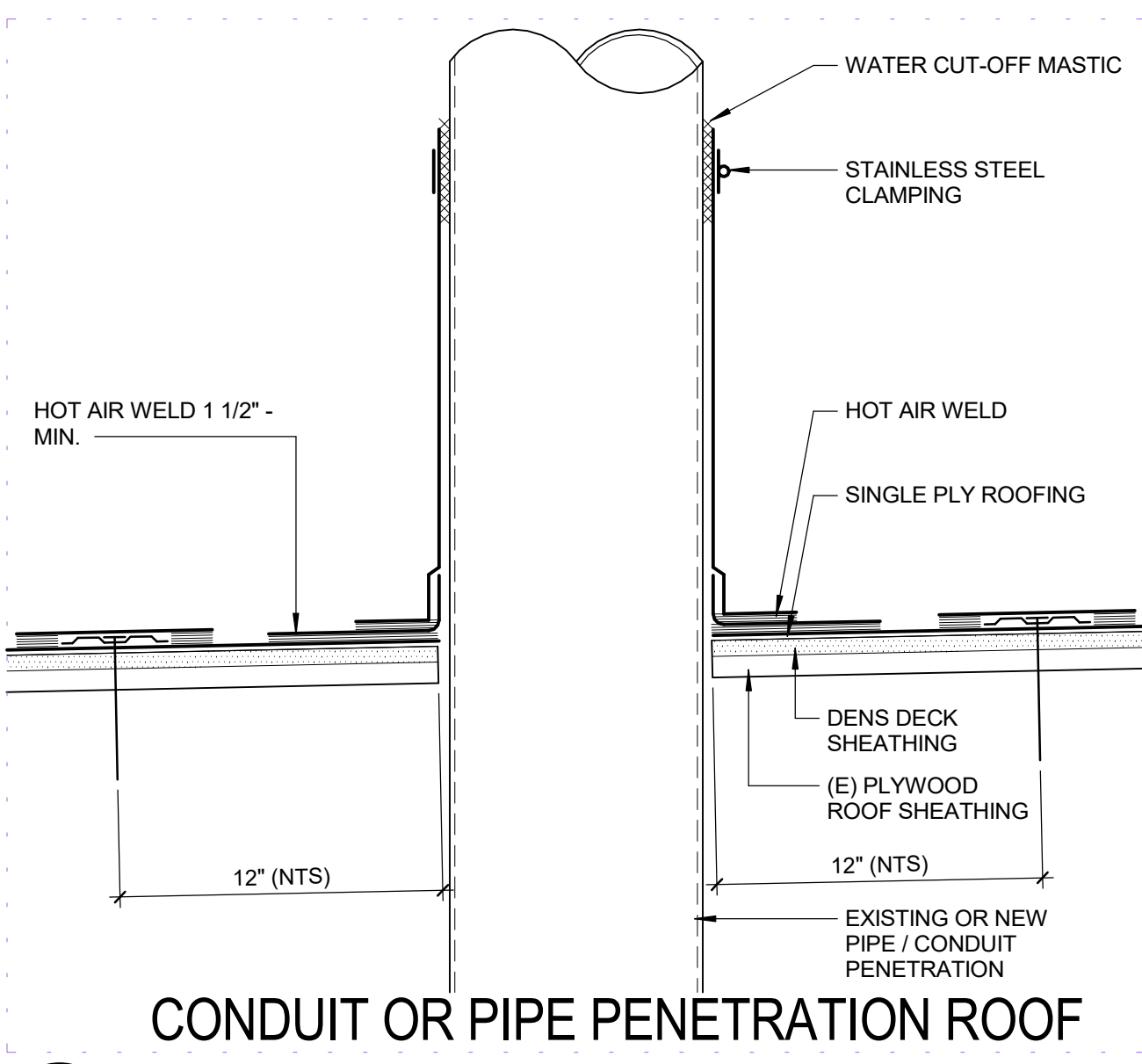
18 PARAPET - NORTH, EAST, SOUTH WALLS



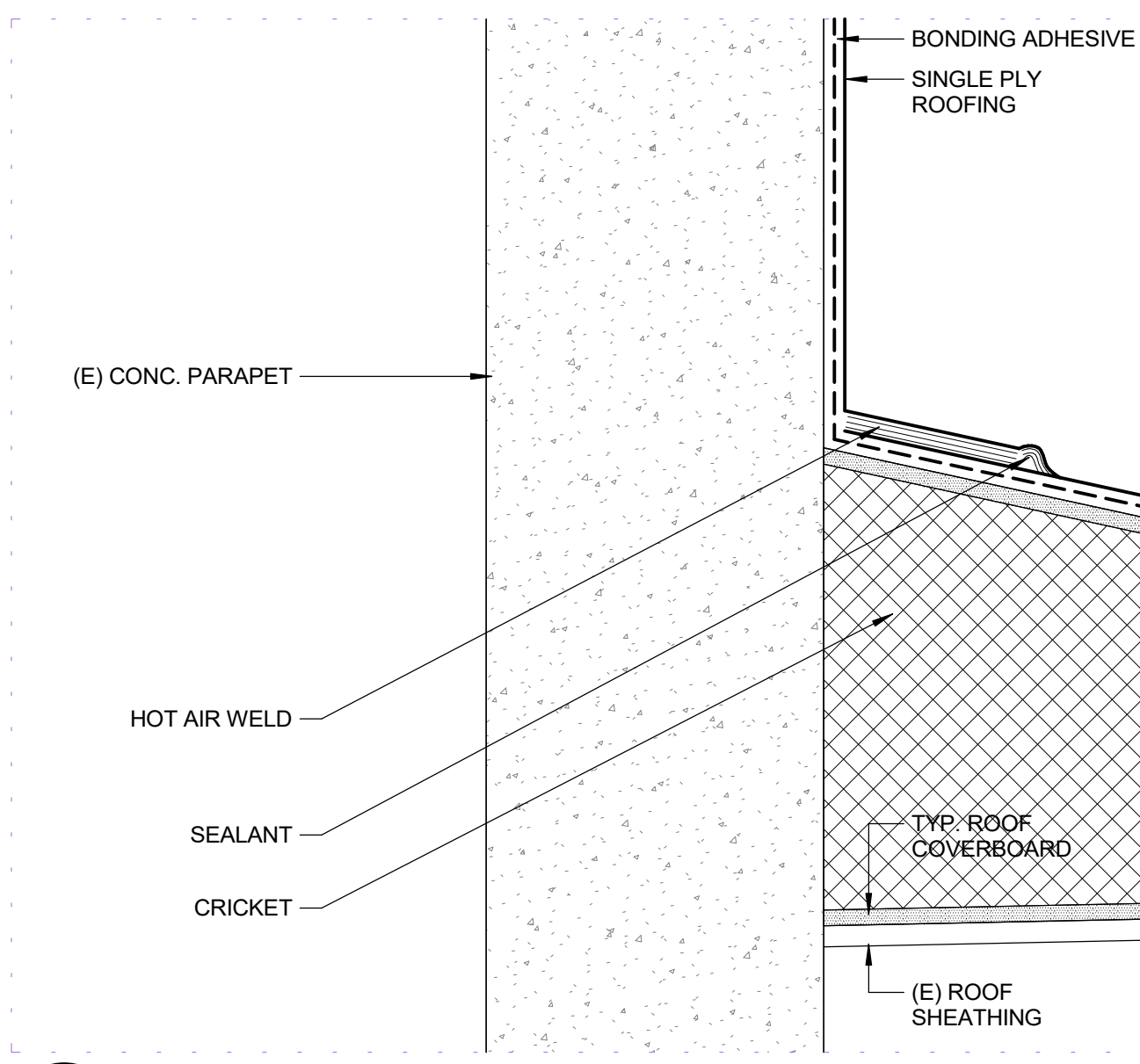
2 LOUVER VENT HEAD



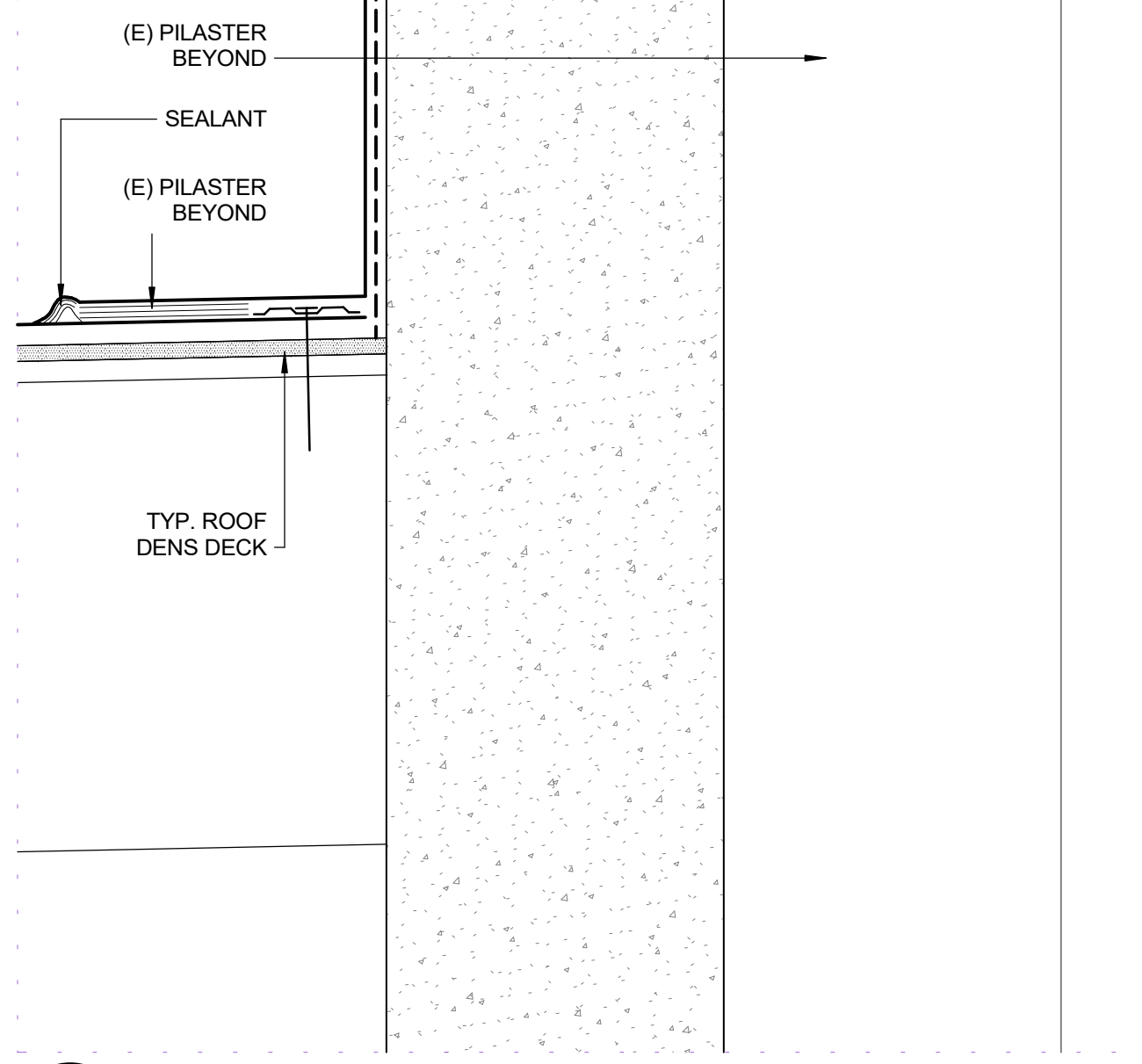
6 ROOF PATCH AT SMALL HOLES



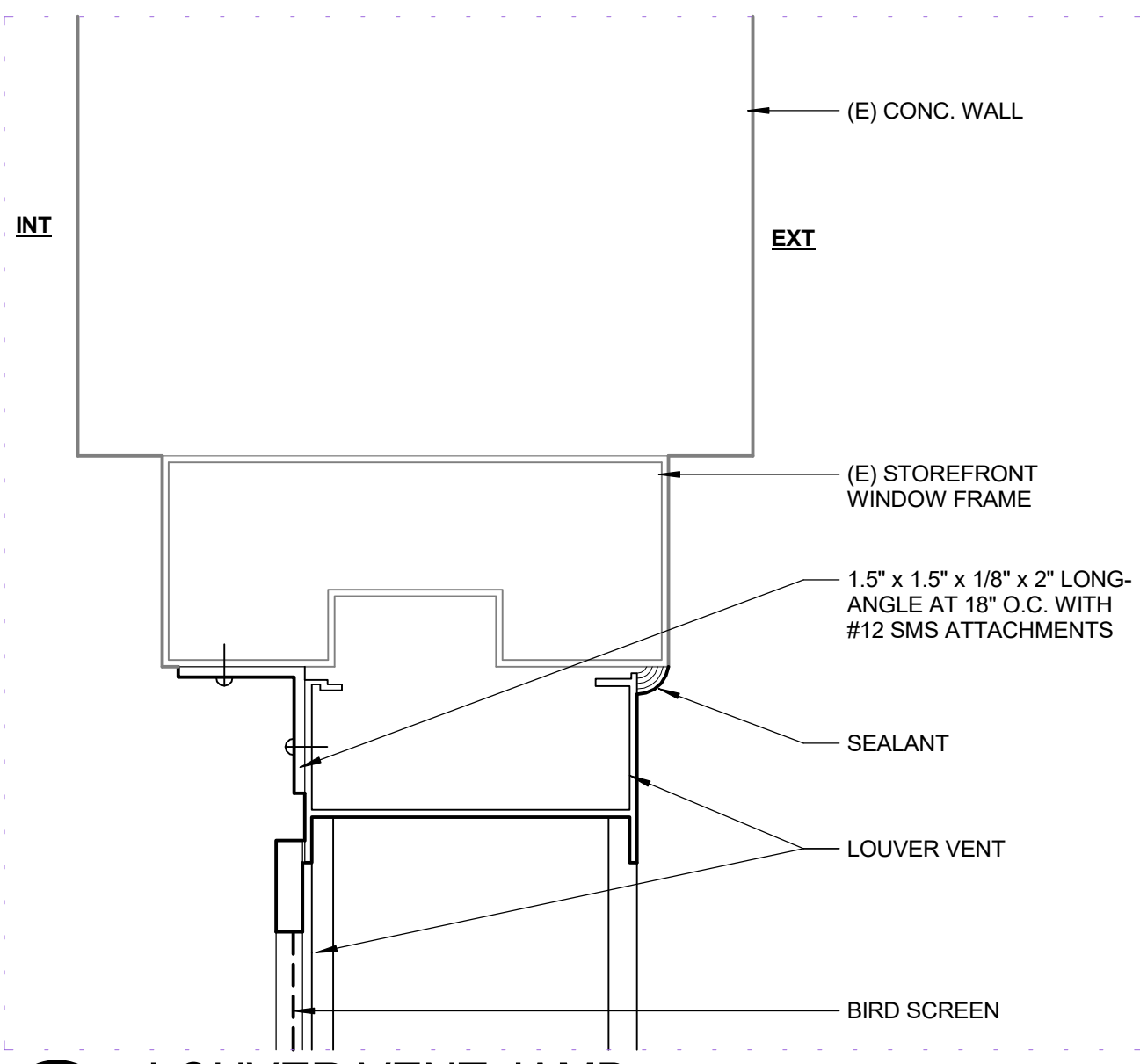
10 CONDUIT OR PIPE PENETRATION ROOF FLASHING



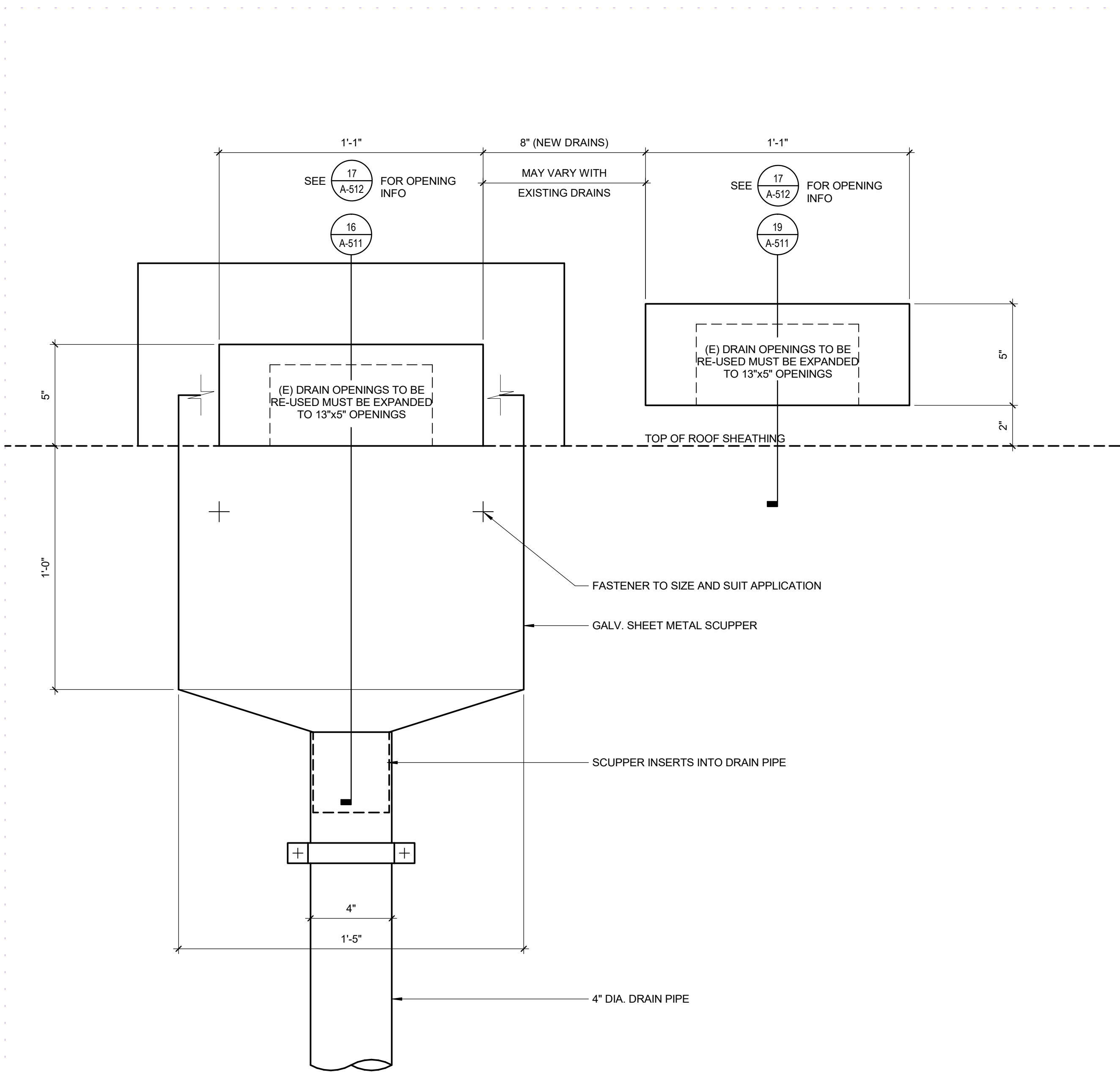
14 PARAPET AT CRICKET



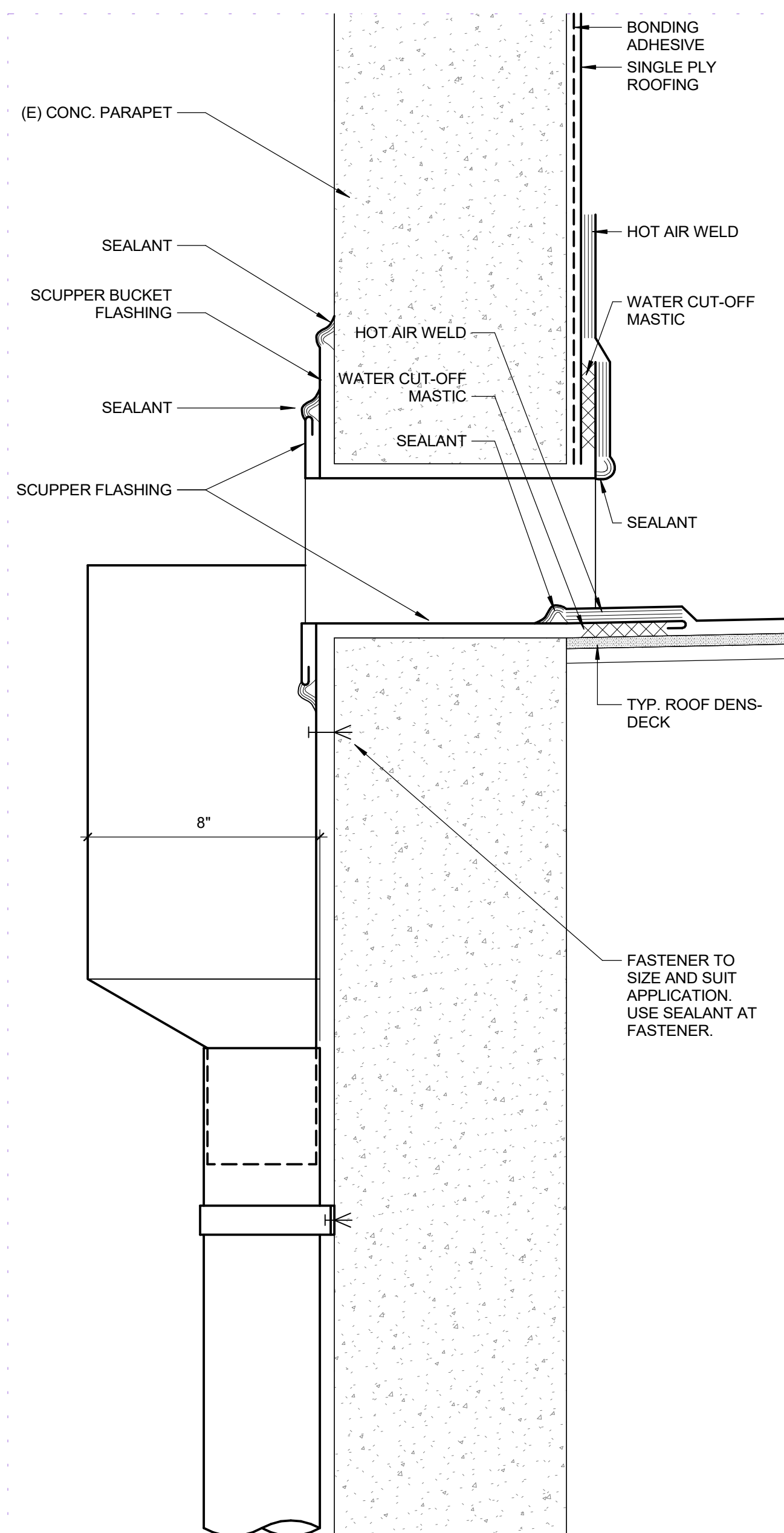
19 DRAIN - OVERFLOW



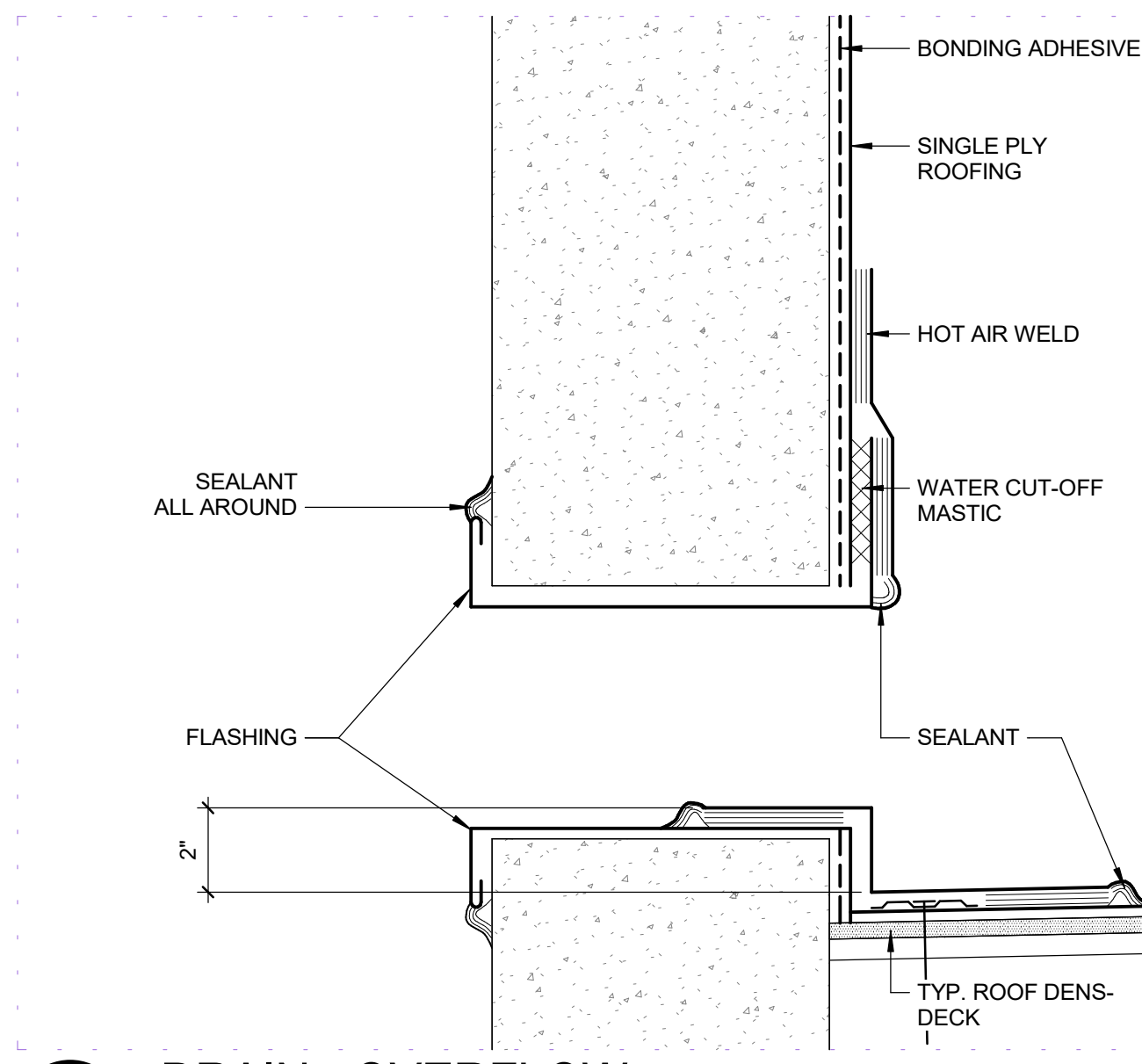
3 LOUVER VENT JAMB



8 DRAIN - EXTERIOR VIEW



16 DRAIN - SCUPPER



20 (E) EAST PARAPET CAP



PROJECT

185 COMMERCE CIRCLE
SACRAMENTO, CA 95815

CLIENT

165 COMMERCE CIRCLE, SUITE D, SACRAMENTO, CA
95815

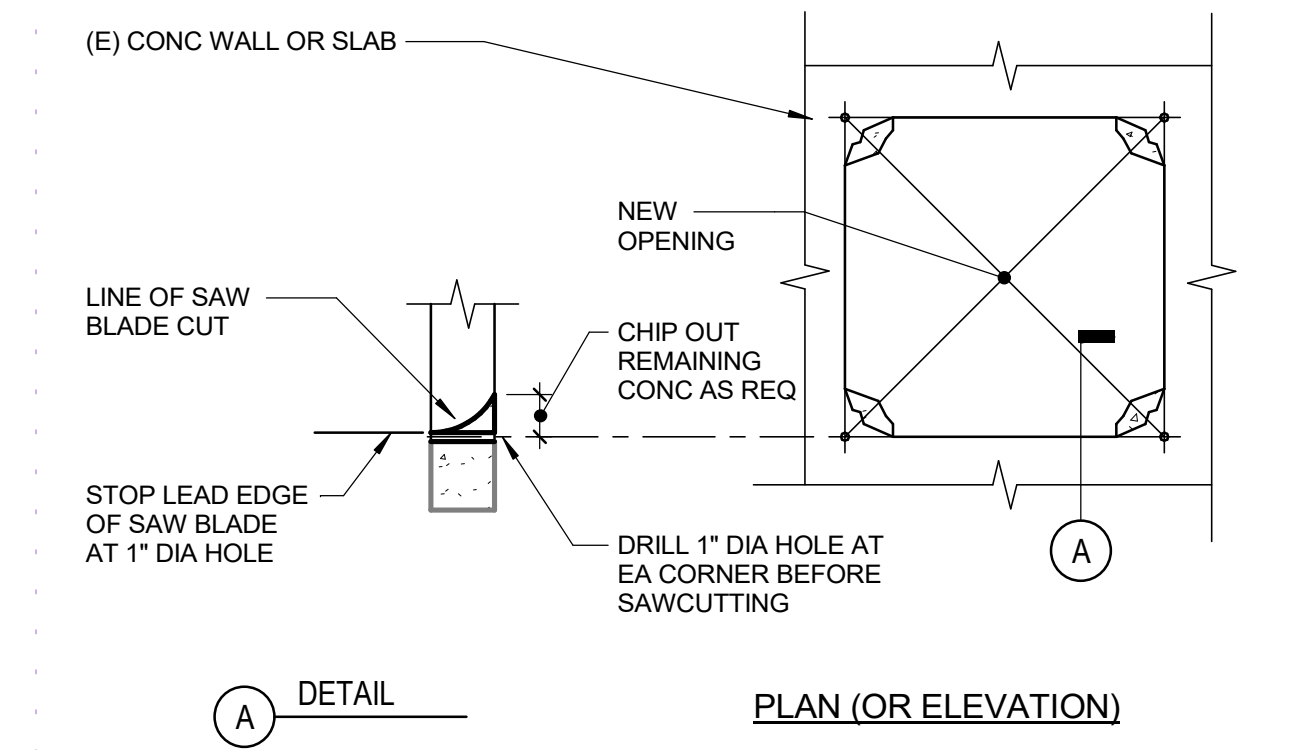
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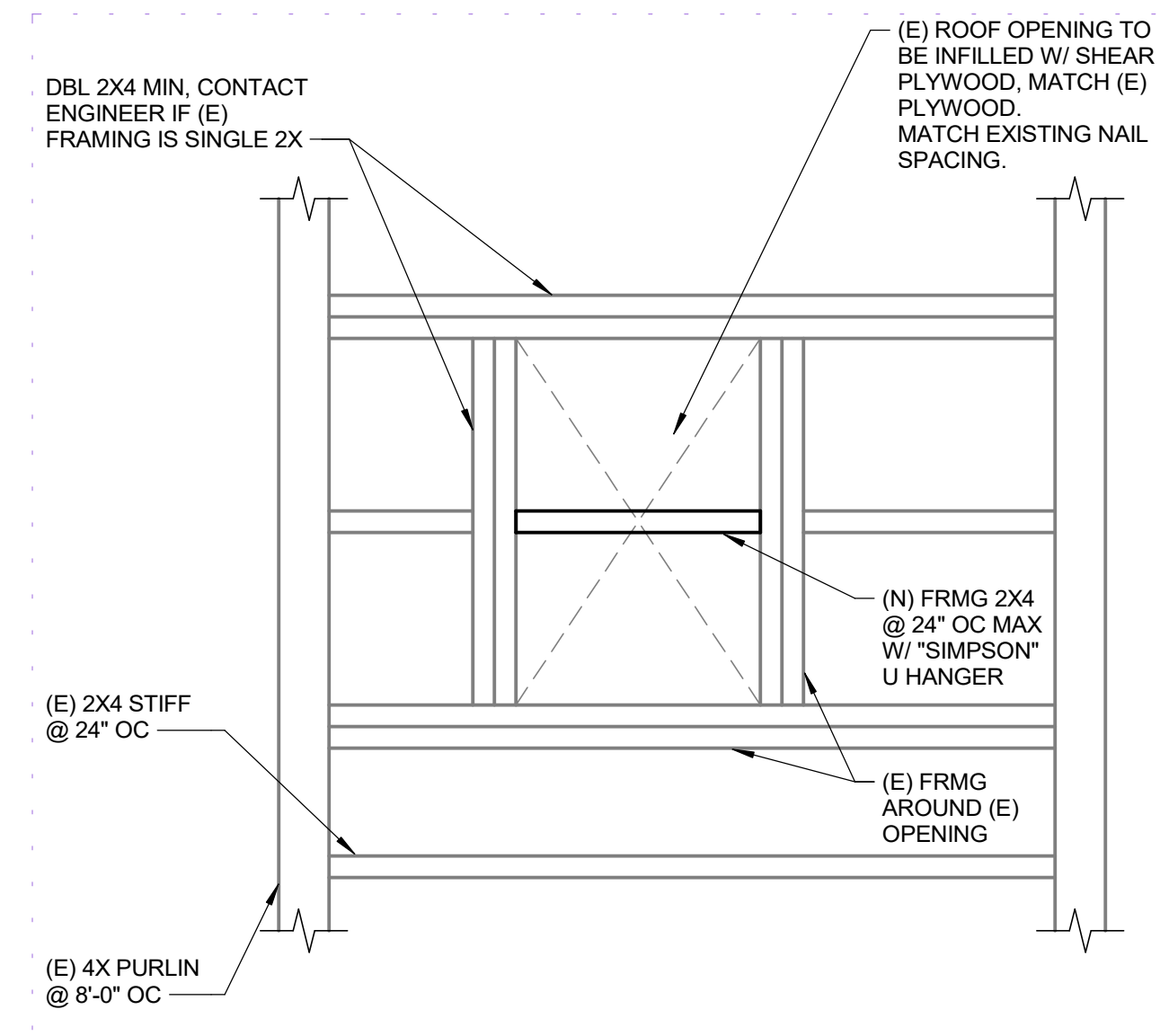
AGENCY

TITLE
DETAILS - EXTERIOR

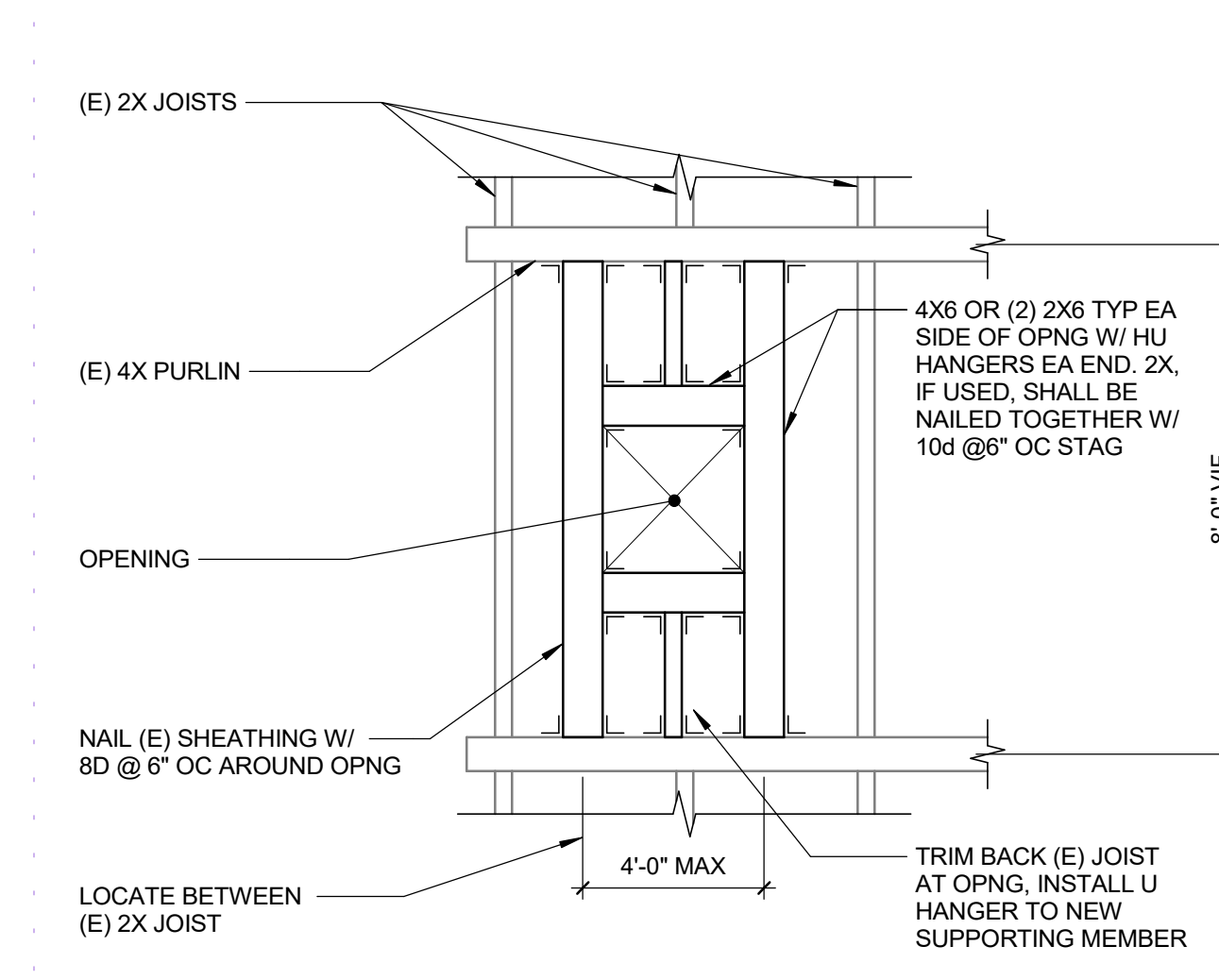
SHEET
A-511



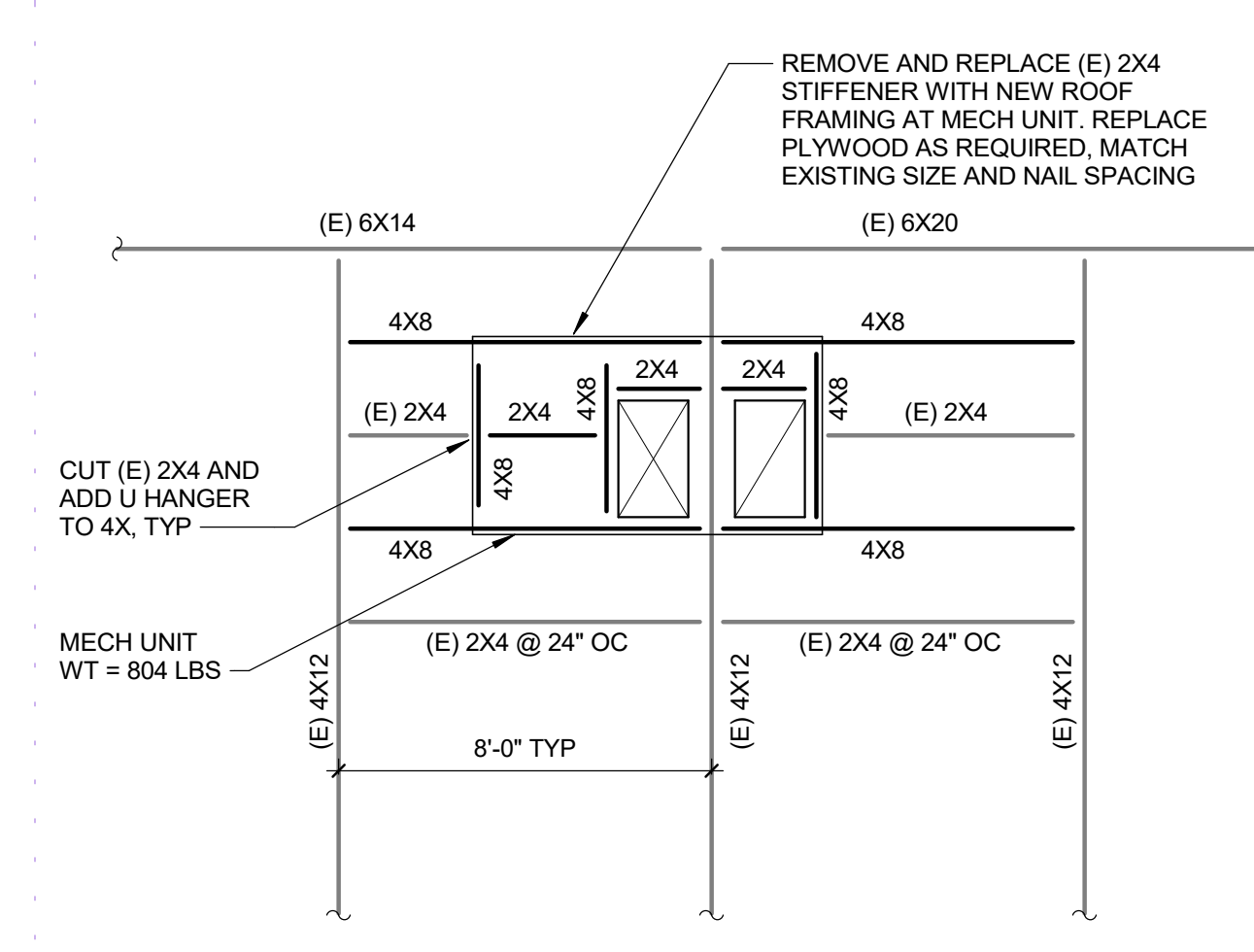
17 TYP SAWCUT OF OPENING IN (E) CONC SLAB / WALL FOR NEW SCUPPERS
 1/2" = 1'-0"



18 INFILL FRAMING AT PATCHED OPENINGS
 1" = 1'-0"



19 OPENING IN (E) FRAMING @ NEW EXHAUST FANS
 3/4" = 1'-0"



NOTES:
 1. FRAMING IS DOUGLAS FIR-LARCH NO. 1 AND BETTER.
 2. ATTACH FRAMING MEMBERS WITH "SIMPSON" U HANGER EACH END.

20 PLAN DETAIL - NEW MECH. UNIT
 1/4" = 1'-0"



PROJECT

185 COMMERCE CIRCLE
 SACRAMENTO, CA 95815

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AGENCY

TITLE
DETAILS - STRUCTURAL

SHEET

A-512

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MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	DETAIL NUMBER
	SHEET ON WHICH DETAIL IS FOUND
	DUCT RISE
	DUCT DROP
	OUTSIDE AIR
	SUPPLY AIR
	RETURN AIR
	BALANCE DAMPER
	DIAMETER OR PHASE
	FLEXIBLE DUCT
	DUCT - DIMENSION SHOWN X WIDTH OR HEIGHT NOT SHOWN
	ACOUSTICAL LINED DUCTING
	DUCT TRANSITION
	SUPPLY AIR DIFFUSER, RETURN OR EXHAUST AIR GRILLE
	THERMOSTAT
	RELOCATE
	MOTORIZED DAMPER
	EXISTING PIPING OR FIXTURE TO BE REMOVED OR ABANDONED IN PLACE
	POINT OF CONNECTION
	ABOVE CEILING
	AIR EXTRACTOR
	ABOVE FINISHED FLOOR
	ABOVE FINISHED GRADE
	ACCESS PANEL
	UNDER CUT DOOR
	CONDENSATE DRAIN
	CUBIC FEET OF AIRFLOW PER MINUTE
	CEILING
	EXISTING TO BE FIELD VERIFIED BY CONTRACTOR
	FROM ABOVE, TO ABOVE
	FROM BELOW, TO BELOW
	FLEXIBLE CONNECTION
	FINISHED FLOOR
	FIRE SMOKE DAMPER
	PER FOOT
	NEW
	NOT IN MECHANICAL CONTRACT
	NOT TO SCALE
	OPPOSED BLADE DAMPER
	REFERENCE
	SMOKE DETECTOR
	TYPICAL

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	SOIL, WASTE OR SANITARY SEWER BELOW GRADE OR SLAB
	GREASE WASTE BELOW GRADE
	ACID WASTE
	SOIL, WASTE OR SANITARY SEWER ABOVE GRADE OR SLAB
	VENT PIPING
	COLD WATER PIPING
	HOT WATER PIPING
	HOT WATER RETURN PIPING
	GAS PIPING - PRESSURE NOTED
	COMPRESSED AIR PIPING
	FIRE SPRINKLER PIPING
	STORM DRAIN PIPING
	PRESSURE AND TEMPERATURE RELIEF PIPING
	CONDENSATE DRAIN PIPING
	UNION
	SHUT OFF VALVE
	GATE VALVE
	GATE VALVE IN VALVE BOX
	CHECK VALVE - DIRECTION OF FLOW INDICATED
	BALL VALVE
	AUTOMATIC GAS SHUT-OFF VALVE
	PRESSURE AND TEMPERATURE RELIEF VALVE
	GRADE CLEAN OUT, FLOOR CLEAN OUT
	CLEANOUT, WALL CLEANOUT
	FLOOR DRAIN
	FLOOR SINK
	HOSE BIBB
	POINT OF CONNECTION
	POINT OF DISCONNECT
	INVERT ELEVATION
	UNDER SLAB, UNDER FLOOR, UNDERGROUND
	VENT, VENT RISER, VENT THRU ROOF
	SANITARY SEWER
	HOT WATER, HOT WATER DROP, HOT WATER RISER
	COLD WATER, COLD WATER DROP, COLD WATER RISER

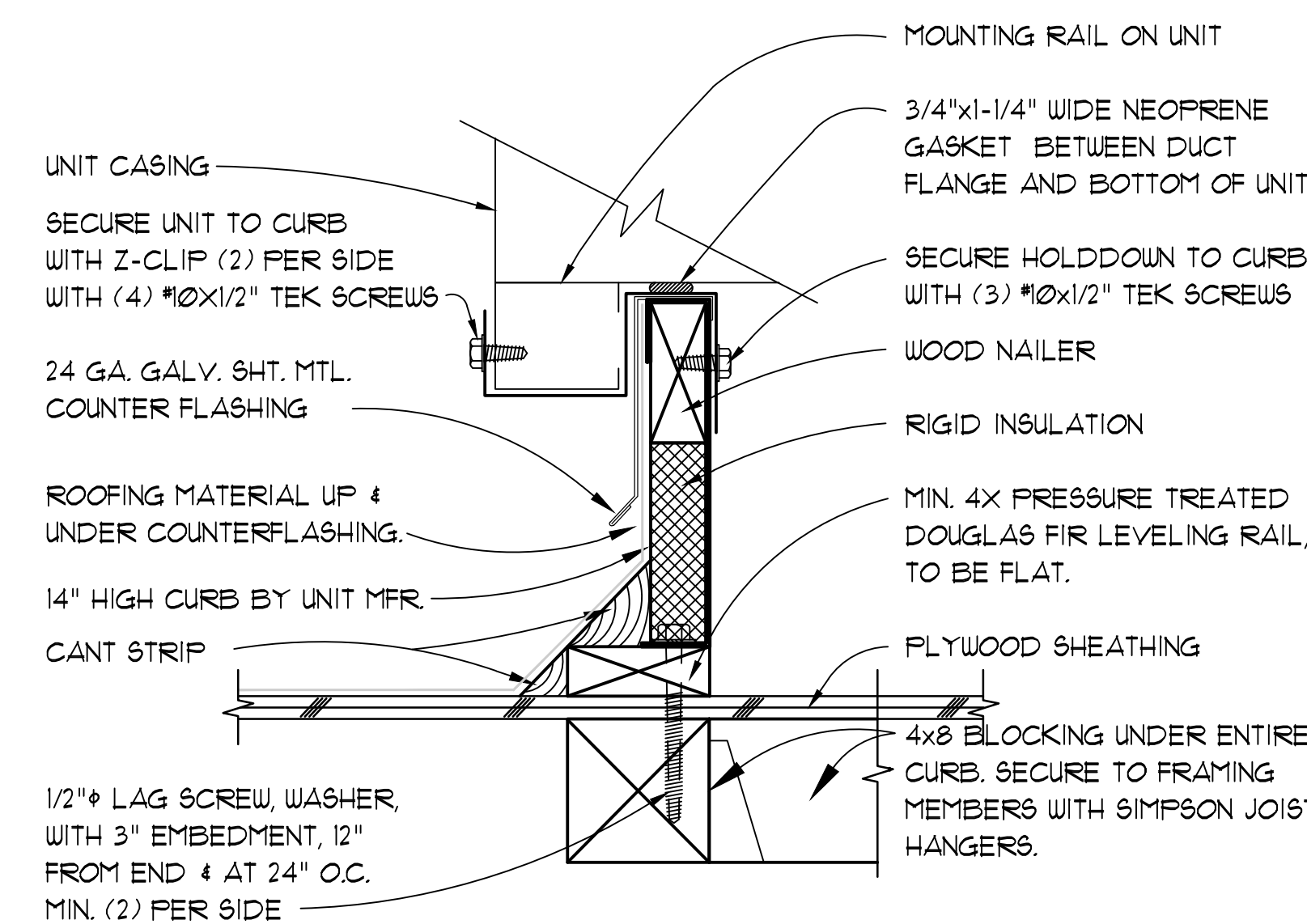
GENERAL MECHANICAL NOTES

- ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND SHALL BE EQUAL IN QUALITY, TYPE, CAPACITY EFFICIENCY AND ACCESSORIES TO THE EQUIPMENT NOTED ON THE DRAWINGS. ADJUSTMENTS TO CONSTRUCTION AND ACCESSORIES ON SUBSTITUTED EQUIPMENT MAY BE REQUIRED TO ACHIEVE THIS EQUALITY, AND SHALL BE INCLUDED AT NO EXTRA COST TO THE OWNER. MAKE ANY CHANGES IN DUCTWORK, PIPING, FRAMING, ETC., AS REQUIRED TO ACCOMMODATE SUBSTITUTED EQUIPMENT.
- INSTALL ALL EQUIPMENT AND MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES. APPLICABLE CODES SHALL INCLUDE, BUT NOT BE LIMITED TO THE 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA CODE OF REGULATIONS (CCR), 2019 CALIFORNIA FIRE REGULATIONS, 2019 CALIFORNIA GREEN BUILDING STANDARDS AND 2019 CALIFORNIA TITLE 24 ENERGY EFFICIENCY STANDARDS. WHERE HEAVIER GAGES OF MATERIAL, LARGER SIZES OR MORE STRINGENT REQUIREMENTS THAN THE CODES ARE REQUIRED BY THE CONTRACT DOCUMENTS, SUCH INCREASED REQUIREMENTS SHALL APPLY.
- FABRICATE AND INSTALL ALL DUCTWORK IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA GUIDELINES FOR DUCT CONSTRUCTION AND THE 2016 CALIFORNIA MECHANICAL CODE. ALL DUCT JOINTS INCLUDING MECHANICAL FLANGED JOINTS SHALL BE SEALED WITH SILVER TAPE OR ARABOL AND CANVAS. SEAL THE JOINTS OF ALL DUCTS EXPOSED TO THE WEATHER WITH ARABOL AND CANVAS. PROVIDE ALL BRANCH DUCTS WITH VOLUME DAMPERS WITH LOCKING QUADRANTS LOCATED AT LEAST FIVE FEET (5') FROM THE GRILLE OR DIFFUSER SERVED.
- SUPPORTS FOR ALL PIPING AND DUCTWORK SHALL BE IN ACCORDANCE WITH SMACNA GUIDELINES FOR SEISMIC RESTRAINT OF MECHANICAL SYSTEMS. CONTRACTOR SHALL PROVIDE CALCULATIONS FOR ISOLATORS AND MOUNTING ACCEPTABLE TO THE REVIEWING AUTHORITY WHEN REQUIRED BY SAME.
- ALL RECTANGULAR OR ROUND RIGID DUCTS SHALL BE OF SMACNA GAGE GALVANIZED STEEL OR ALUMINUM, UNLESS OTHERWISE NOTED ON THE DRAWINGS. PROVIDE FLAT SEAM CONSTRUCTION FOR ANY DUCTS EXPOSED IN OCCUPIED SPACE. NOTE: ALUMINA-FLEX IS NOT ACCEPTABLE IN LIEU OF ROUND RIGID DUCTWORK.
- FLEXIBLE DUCTS WHERE PERMITTED SHALL BE GENFLEX II, THERMAFLEX G-KM, CASCO OR EQUAL FACTORY INSULATED. FLEXIBLE DUCT SHALL NOT EXCEED 5'-0" IN LENGTH (DOWNSTREAM OF RIGID ELBOWS) PER 2016 CMC, 603.4. INSULATE ALL SUPPLY AND RETURN DUCTS WITH 2" THICK 3/4 POUND DENSITY O-C F OR EQUAL, FIBERGLASS DUCT WRAP, TYPE IV, WITH FACTORY APPLIED FLAME RETARDANT FOIL REINFORCED KRAFT FACING. LAP ALL JOINT 4" MINIMUM, AND SECURE WITH GALVANIZED STEEL WIRE.
- LINE ALL SUPPLY AND RETURN DUCT DROPS FOR A MINIMUM OF 10' FROM THE UNIT WITH 1" THICK O-C F AEROFLEX TYPE 200 OR EQUAL ACOUSTIC DUCT LINER. INSTALL WITH 100% COVERAGE ADHESIVE, AND FURTHER APPLY MECHANICAL PIN FASTENERS WHERE DUCT SIDE EXCEEDS 24". DUCT DIMENSIONS ARE NET INTERNAL DIMENSION. SEAL BUTT ENDS OF EXPOSED INSULATION IN THE DUCTS WITH MANUFACTURERS RECOMMENDED SEALANT OR ADHESIVE.
- CONTROLS SHALL COMPLY WITH THE 2016 CALIFORNIA ENERGY CODE. ALL CONTROLS AND CONTROL WIRING NOT SPECIFICALLY SHOWN BUT REQUIRED FOR A COMPLETE AND WORKABLE SYSTEM SHALL BE SUPPLIED BY THE CONTRACTOR AND INSTALLED AT NO ADDITIONAL COST TO THE OWNER.
- ALL AIR SYSTEMS SHALL BE BALANCED BY A QUALIFIED MECHANICAL CONTRACTOR USING AABC, SMACNA OR NEBB PROCEDURES. AIR QUANTITIES SHALL BE BALANCED TO NOT MORE THAN 10% ABOVE OR 10% BELOW THE QUANTITIES SHOWN ON THE DRAWINGS. CONTRACTOR SHALL SUBMIT A COMPLETE AIR BALANCE REPORT INDICATING AS A MINIMUM, THE AIR DELIVERY FOR EACH DIFFUSER, THE FINAL OPERATING DATA FOR THE SYSTEMS AND THE AIR CONDITIONING UNITS.
- SUBMIT FOR APPROVAL (6) COPIES OF COMPLETE SUBMITTAL DATA ON SPECIFIED AND PROPOSED EQUIPMENT AND MATERIALS. SUBMITTALS SHALL INCLUDE EQUIPMENT SIZES, CAPACITY, MOTOR LOCATIONS, PERFORMANCE CURVES AND OTHER PERTINENT DATA. EACH SUBMITTAL SHALL INCLUDE IDENTIFICATION TAGS OR SYMBOLS TO MATCH DUGS. PARTIAL SUBMITTALS OR SUBMITTALS WHICH ARE NOT MARKED WITH EQUIPMENT TAGS OR PERFORMANCE DATA WILL BE REJECTED.
- PROVIDE PERMANENT ENGRAVED PLASTIC NAME PLATED FOR ALL EQUIPMENT INSTALLED, INDICATING THE PLAN DESIGNATION OF THE UNIT (AC-1, REF, ETC.) AND ALSO THE BUILDING AREA SERVED (CLASSROOMS 2-4, CONFERENCE ROOM, ETC.). STAMPED METAL TAPES APPLIED WITH SELF-CONTAINED ADHESIVE WILL NOT BE ACCEPTABLE.
- CONTRACTOR SHALL VERIFY ALL WORK CONDITIONS PRIOR TO COMMENCING WORK, INCLUDING, BUT NOT LIMITED TO: DIMENSIONS, EQUIPMENT, STRUCTURAL ELEMENTS AND MATERIALS INDICATED AS EXISTING, AS WELL AS THE COORDINATED INSTALLATION OF ALL NEW WORK, MATERIALS, EQUIPMENT, ETC. COORDINATE THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT WITH THE STRUCTURAL ENGINEER.
- CONTRACTOR SHALL FIELD COORDINATE AND INSTALL PACKAGED ROOFTOP EQUIPMENT TO MAINTAIN A MINIMUM OF 10'-0" CLEARANCE FROM OUTSIDE AIR INTAKE TO ALL EXHAUST OUTLETS AND (VTR) VENT THRU ROOF, TYPICAL.
- SUBMITTAL NOTE: MECHANICAL SYSTEMS DESIGN REFLECT EQUIPMENT SPECIFIED. WHEN EQUIPMENT SUBSTITUTIONS OCCUR AND DUCT DESIGN, DUCT DROPS, GAS INPUT AND ELECTRICAL SERVICE VARIES FROM THAT SPECIFIED, THEN IT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR FOR ALL ADDITIONAL ENGINEERING FEES AND OTHER DISCIPLINE CHANGE ORDERS (STRUCTURAL, ELECTRICAL, ARCHITECTURAL, PLUMBING, ETC) WHEN SUBSTITUTED EQUIPMENT IS USED.

GENERAL PLUMBING NOTES

- ALL EQUIPMENT AND MATERIALS USED SHALL BE NEW AND SHALL BE EQUAL IN QUALITY, TYPE, CAPACITY AND ACCESSORIES TO THE EQUIPMENT NOTED ON THE DRAWINGS. ADJUSTMENTS TO CONSTRUCTION AND ACCESSORIES ON SUBSTITUTED EQUIPMENT MAY BE REQUIRED TO ACHIEVE THIS EQUALITY, AND SHALL BE INCLUDED AT NO EXTRA COST TO THE OWNER. MAKE ANY CHANGES IN PIPING, FRAMING, ETC., AS REQUIRED TO ACCOMMODATE SUBSTITUTED EQUIPMENT.
- INSTALL ALL EQUIPMENT AND MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES. APPLICABLE CODES SHALL INCLUDE, BUT NOT BE LIMITED TO THE 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA CODE OF REGULATIONS (CCR), 2019 CALIFORNIA FIRE CODE AND 2019 TITLE 24 ENERGY EFFICIENCY STANDARDS. WHERE HEAVIER GAGES OF MATERIAL, LARGER SIZES OR MORE STRINGENT REQUIREMENTS THAN THE CODES ARE REQUIRED BY THE CONTRACT DOCUMENTS, SUCH INCREASED REQUIREMENTS SHALL APPLY.
- PIPING MATERIALS SHALL BE AS FOLLOWS:
CONDENSATE DRAIN PIPING: TYPE DUV COPPER TUBING AND FITTINGS OR SCHEDULE 40 GALVANIZED STEEL PIPE AND MALLEABLE IRON FITTINGS. (PVC PIPING WILL NOT BE ACCEPTABLE.)
- CONTRACTOR SHALL VERIFY ALL WORK CONDITIONS, PRIOR TO COMMENCING WORK, INCLUDING BUT NOT LIMITED TO: PIPING SIZES, INVERT ELEVATIONS, POINTS OF CONNECTION, FIXTURES AND EQUIPMENT, STRUCTURAL ELEMENTS AND MATERIALS INDICATED AS EXISTING, AS WELL AS THE COORDINATED INSTALLATION OF ALL NEW WORK, MATERIALS, EQUIPMENT, ETC. VERIFY THE LOCATION AND REQUIRED PIPING CONNECTIONS OF ALL HVAC OR OTHER MECHANICAL EQUIPMENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO TRENCHING OR COMMENCING OTHER WORK.

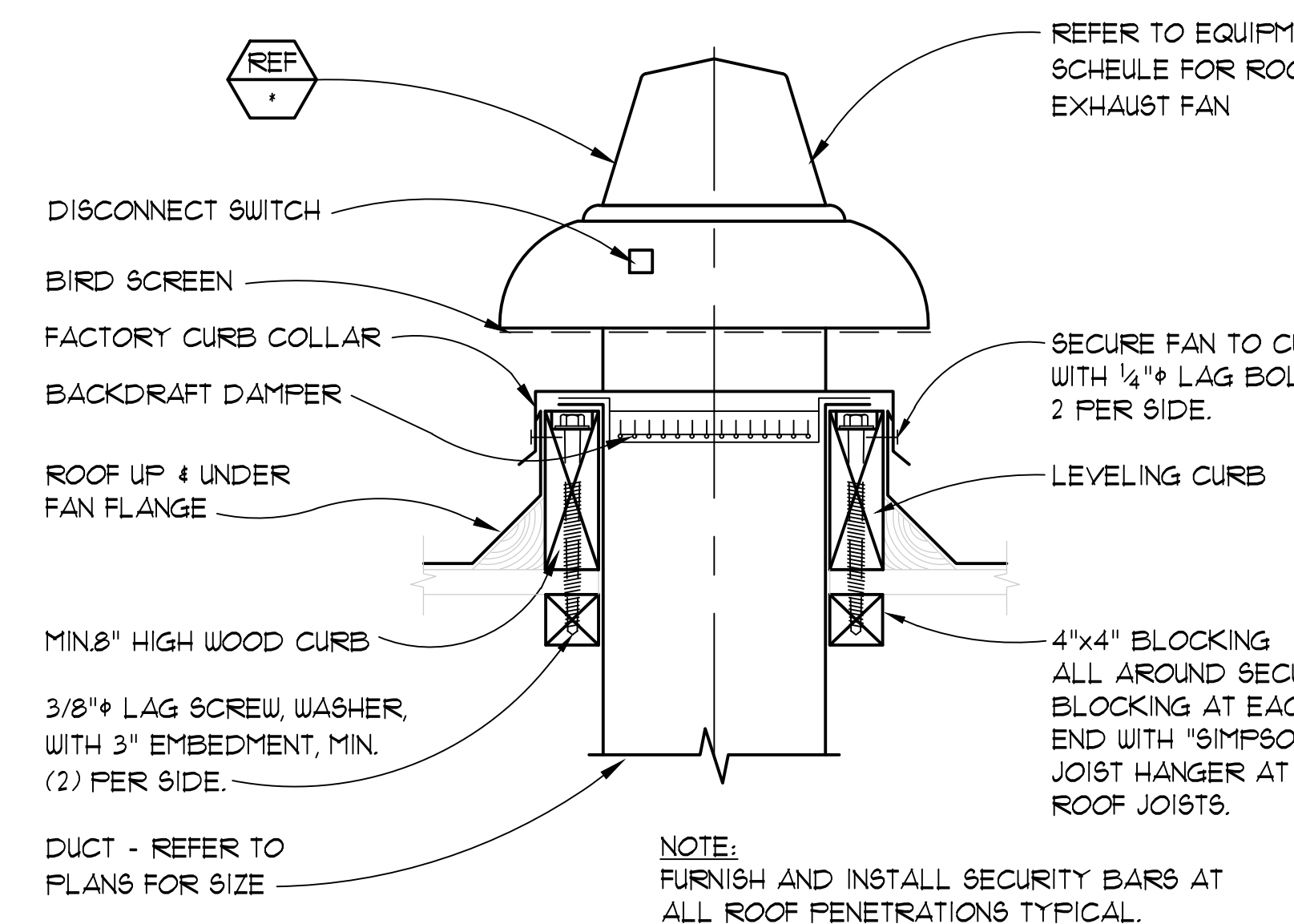
EQUIPMENT SCHEDULE	
SYMBOL	DESCRIPTION
	COOLING CAPACITIES ARE BASED AT 95° F. AMB., 80° F. DB, 61° F. WB, ENTERING AIR TEMPERATURE. HEATING CAPACITIES ARE BASED AT 30° F. PACKAGED ROOFTOP AIR-CONDITIONING UNIT WITH ELECTRIC COOLING AND HEATING, VERTICAL DISCHARGE, R-410A REFRIGERANT, FURNISH COMPLETE WITH ROOF CURB, BELT-DRIVE MOTOR, FULLY MODULATING 100% OUTSIDE AIR ECONOMIZER WITH MODULATING POWER EXHAUST, COMPRESSOR SHORT CYCLE PROTECTOR, THERMOSTAT, DISPOSABLE FILTERS IN FILTER RACK. POWER EXHAUST OPERATION BY SPACE MOUNTED STATIC PRESSURE SENSOR. TRANE MODEL NO.: USC090 OR EQUAL, III SEER, NOMINAL 15 TON UNIT. TOTAL COOLING CAPACITY: 94,000 BTUH SENSIBLE COOLING CAPACITY: 69,300 BTUH INSTANTANEOUS HEATING CAPACITY: 36,300 BTUH INTEGRATED HEATING CAPACITY: 31,800 BTUH AIR FLOW SETTING: 3,000 CFM AT 0.8 S.P. ELECTRICAL SERVICE: 208 V/3 PH/60 HZ COMPRESSOR: 1 AT 191 RLA, 128 LRA EVAPORATOR FAN MOTOR: 1 AT 10 HP, 1.9 FLA CONDENSER FAN MOTOR: 1 AT 2 FLA, 6.6 LRA MCA: 38.4 MOCP: 60 1062 LBS.
	ROOF EXHAUST FAN LOREN COOK MODEL NO.: 195C1TD (VF2) OR EQUAL. AIR FLOW SETTING: 4,000 CFM AT 0.15 S.P., 1125 RPM ELECTRICAL SERVICE: 208 V/3 PH/60 HZ. EC FAN MOTOR: 5 HP, 3.98 BHP CONTROL WITH WALL SWITCH, THERMOSTATIC SWITCH, CO SENSOR SWITCH. WEIGHT: 210 LBS. SOUND LEVEL: 43 SONES FURNISH: ROOF CURB, BIRD SCREEN, BACK DRAFT DAMPER, DISCONNECT SWITCH, INHERENT MOTOR PROTECTION.
	ROOF EXHAUST FAN LOREN COOK MODEL NO.: 180C1TD (VF2) OR EQUAL. AIR FLOW SETTING: 5,500 CFM AT 0.15 S.P., 1542 RPM ELECTRICAL SERVICE: 208 V/3 PH/60 HZ. EC FAN MOTOR: 3 HP, 1.83 BHP CONTROL WITH WALL SWITCH, THERMOSTATIC SWITCH, CO SENSOR SWITCH. WEIGHT: 197 LBS. SOUND LEVEL: 29 SONES FURNISH: ROOF CURB, BIRD SCREEN, BACK DRAFT DAMPER, DISCONNECT SWITCH, INHERENT MOTOR PROTECTION.



AC UNIT MOUNTING DETAIL

SCALE: NONE

1
MP1.1

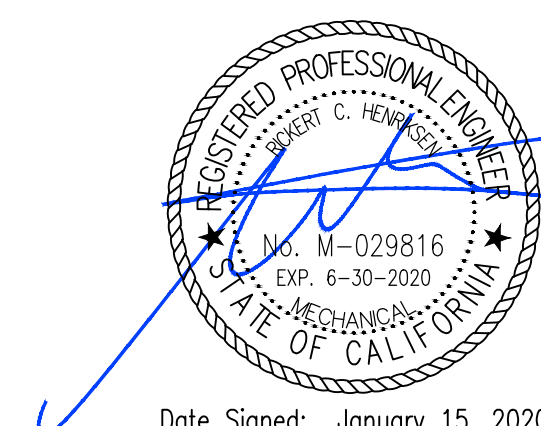


ROOF EXHAUST FAN MOUNTING DETAIL

SCALE: NONE

2
MP1.1

CONSULTANT



Date Signed: January 15, 2020



SEAL

PROJECT
ROOF REPAIR / REPLACEMENT

185 COMMERCE CIRCLE
SACRAMENTO, CA 95815

CLIENT
AMERICAN RIVER FLOOD CONTROL DISTRICT

165 COMMERCE CIRCLE, SUITE D, SACRAMENTO, CA 95815

ISSUED

MARK	DATE	DESCRIPTION

MANAGEMENT

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AGENCY

TITLE

**MECHANICAL /
PLUMBING LEGEND,
NOTES, & SCHEDULES**

SHEET

MP1.1



SEAL

PROJECT
ROOF REPAIR / REPLACEMENT

185 COMMERCE CIRCLE
SACRAMENTO, CA 95815

CLIENT
AMERICAN RIVER FLOOD CONTROL DISTRICT
165 COMMERCE CIRCLE, SUITE D, SACRAMENTO, CA 95815

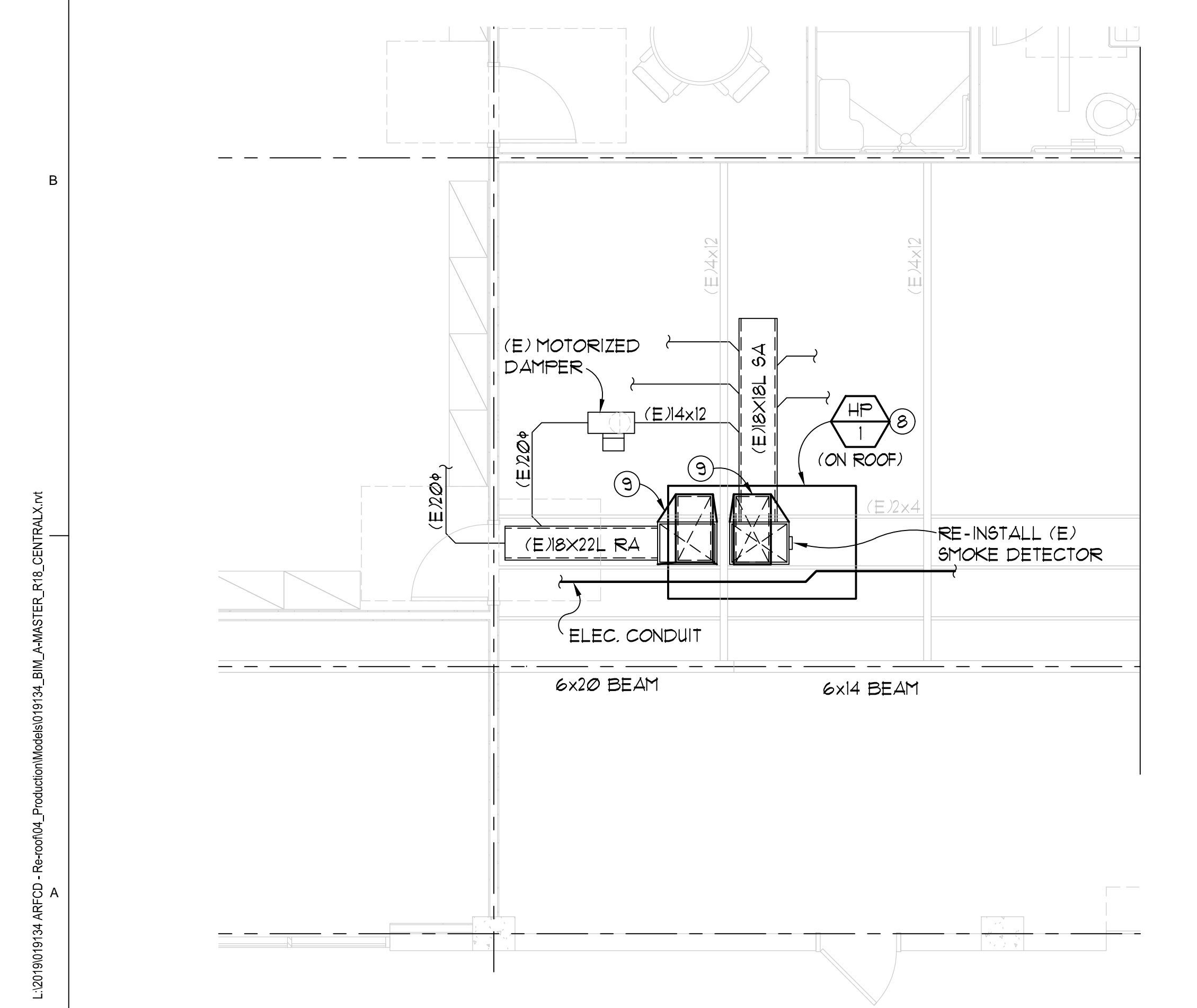
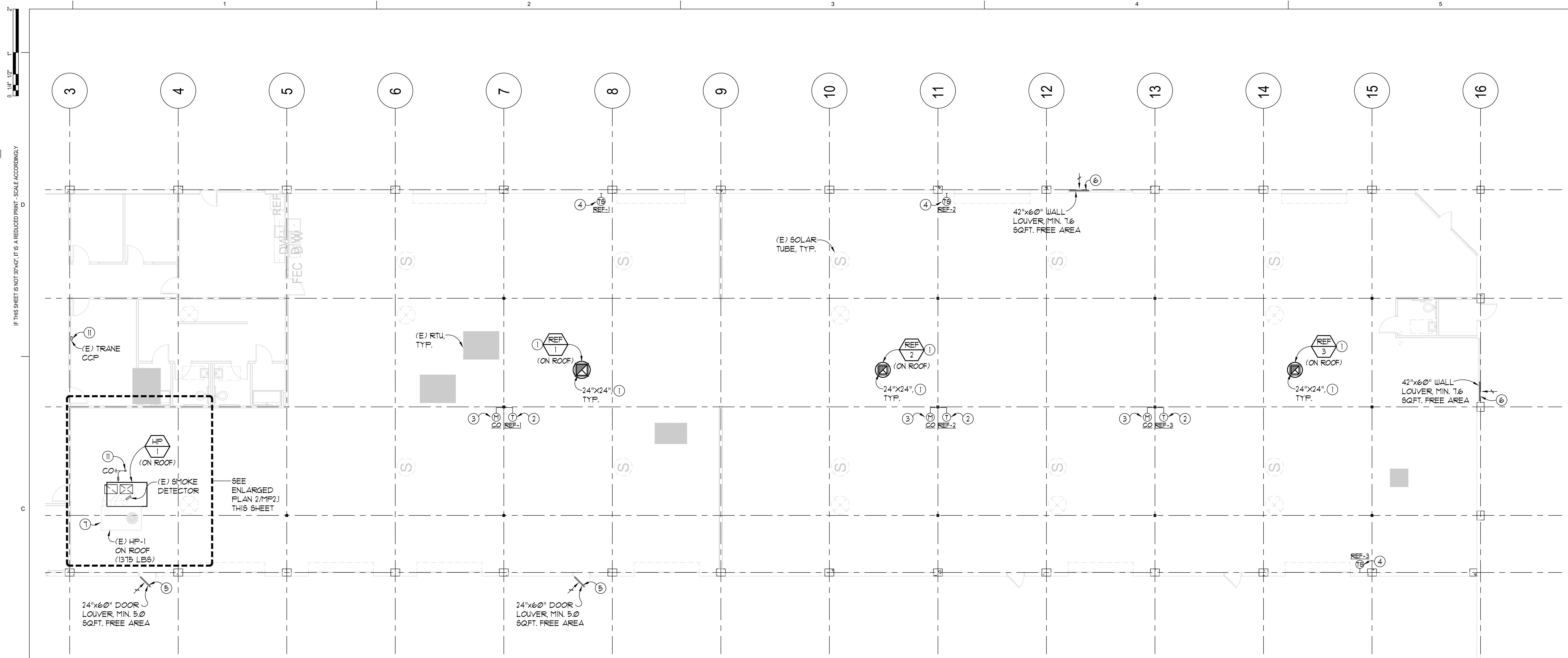
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TITLE
MECHANICAL / PLUMBING PLAN

SHEET
MP2.1



NUMBERED SHEET NOTES:

- ① FIELD COORDINATE FAN UNIT FINAL LOCATION TO MAINTAIN MINIMUM 10 FEET FROM ALL OUTSIDE AIR INTAKE. SECURE ROOF EXHAUST FAN TO ROOF FRAMING MEMBERS AS REQUIRED. FIELD VERIFY DUCT DROP OPENING SIZES THROUGH ROOF WITH STRUCTURAL MEMBERS. DUCT TO EXTEND MINIMUM 6 INCHES BELOW ROOF INSULATION. TYPICAL.
- ② FURNISH AND INSTALL THERMOSTATIC CONTROL ON COLUMN AS SHOWN. SET TO OPERATE FAN AT 80°F (ADJUSTABLE). TYPICAL.
- ③ FURNISH AND INSTALL CARBON MONOXIDE MONITOR ON COLUMN AS SHOWN. SET EXHAUST FAN TO OPERATE WHEN CO LEVEL REACHES 50 PPM (ADJUSTABLE) OR HIGHER. TURN FAN OFF WHEN CO LEVEL DROPS BELOW 40 PPM. CO MONITOR SHALL BE ACME UNISSET MODEL (120V) FOR SINGLE GAS MONITOR. TYPICAL.
- ④ FURNISH AND INSTALL WALL MOUNTED TIMER SWITCH AT 48" AFF FOR MANUAL ACTIVATION OF EXHAUST FAN. FIELD COORDINATE EXACT LOCATION WITH FACILITY PERSONNEL. TIMER SWITCH SHALL HAVE OPERATING RANGE FROM 15 MINUTES TO 2 HOURS MAXIMUM. TYPICAL.
- ⑤ FURNISH AND INSTALL OUTSIDE AIR INTAKE LOUVER AT DOOR. LOUVER SHALL HAVE MINIMUM FREE AREA AS INDICATED. LOUVER TO BE POTTORFF MODEL EAF-445 OR EQUAL. TYPICAL.
- ⑥ FURNISH AND INSTALL OUTSIDE AIR INTAKE LOUVER AT EXTERIOR WALL. LOUVER SHALL HAVE MINIMUM FREE AREA AS INDICATED. REMOVE EXISTING GLAZING PANEL AND INSTALL ADDITIONAL TRIM PIECES AS REQUIRED. LOUVER SHALL BE NATIONAL GUARD PRODUCTS MODEL L-100-RX OR EQUAL. TYPICAL.
- ⑦ REMOVE EXISTING PACKAGED HEAT PUMP HP-1 (15-TON) AND DUCT FLENUMS ON ROOF. REMOVE DUCT SMOKE DETECTOR TO BE RE-INSTALLED AT SUPPLY DUCT BELOW ROOF.
- ⑧ SECURE NEW ROOFTOP HEAT PUMP UNIT (HP-1) TO ROOF FRAMING MEMBERS AS REQUIRED. FIELD VERIFY FINAL UNIT LOCATION AND DUCT DROPS THROUGH ROOF WITH STRUCTURAL MEMBERS AND EXISTING ELECTRICAL CONDUITS. REFER TO ARCHITECTURAL/STRUCTURAL PLAN FOR STRUCTURAL SUPPORT DETAIL.
- ⑨ LINED SUPPLY/RETURN AIR DUCTS DOWN THROUGH ROOF. TRANSITION WITHIN ROOF CURB AND/OR UNDERSIDE OF ROOF STRUCTURE TO EXISTING SA/RA DUCT MAINS. CONNECT DUCT TO UNIT COMPLETE WITH FLEXIBLE CONNECTION. TYPICAL.
- ⑩ CONNECT EXISTING TRANE VARITRAC CENTRAL CONTROL PANEL (CCP) TO NEW HP-1 TO PERFORM BYPASS/ZONE FUNCTIONS PER TRANE PROTOCOL.
- ⑪ ROUTE CONDENSATE DRAIN PIPING DOWN THRU ROOF AND CONNECT TO EXISTING DRAIN PIPING AT UNDERSIDE OF ROOF. FIELD COORDINATE EXACT ROUTING AND POINT OF CONNECTION.

FAN CONTROLS

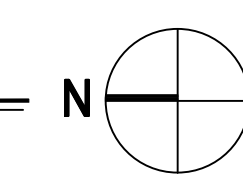
WHEN EXHAUST FAN IS NOT CONTROLLED BY TIMER SWITCH, IT SHALL BE ACTIVATED EITHER BY CO MONITOR OR THERMOSTATIC CONTROL. MECHANICAL CONTRACTOR SHALL PROVIDE TIMER SWITCH, CO MONITOR, AND THERMOSTATIC CONTROL. ALL TO BE INSTALLED BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL FURNISH ANY RELAY AND/OR CONTACTOR AS REQUIRED TO PERFORM ALL THREE FUNCTIONS OF EXHAUST FAN OPERATION. TYPICAL.

ENLARGED MECHANICAL PLAN
SCALE: 1/4"=1'-0"

2
MP2.1

MECHANICAL/PLUMBING PLAN
SCALE: 1/8"=1'-0"

1
MP2.1



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0, 1/4", 1/2", 1"

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ABBREVIATIONS LIST

A	AMPERE	NTS	NOT TO SCALE
A.F.F.	ABOVE FINISHED FLOOR	FRI.	PRIMARY
AL	ALUMINUM	PVC	POLYVINYL CHLORIDE
B.C.	BARE COPPER	CONDUIT	CONDUIT
C.	CONDUIT	SEC.	SECONDARY
C.O.	CONDUIT ONLY, WITH FULL LINE	TTB	TELEPHONE TERMINAL BOARD
CU	COPPER	TTC	TELEPHONE TERMINAL CABINET
(E)	EXISTING	TYP.	TYPICAL
EMT	ELECTRICAL METALLIC TUBING	UG	UNDERGROUND
GND.	GROUND	UN	UNLESS OTHERWISE NOTED
H.I.D.	HIGH INTENSITY DISCHARGE	WP	WEATHERPROOF
J-BOX	JUNCTION BOX	W	WIRE
KVA	KILO VOLT AMP	WP	WEATHERPROOF
MH	METAL HALIDE	W	WITH
MSE	MAIN SWITCHBOARD	XFMR	TRANSFORMER
		φ	PHASE

WIRE AND CONDUIT LEGEND

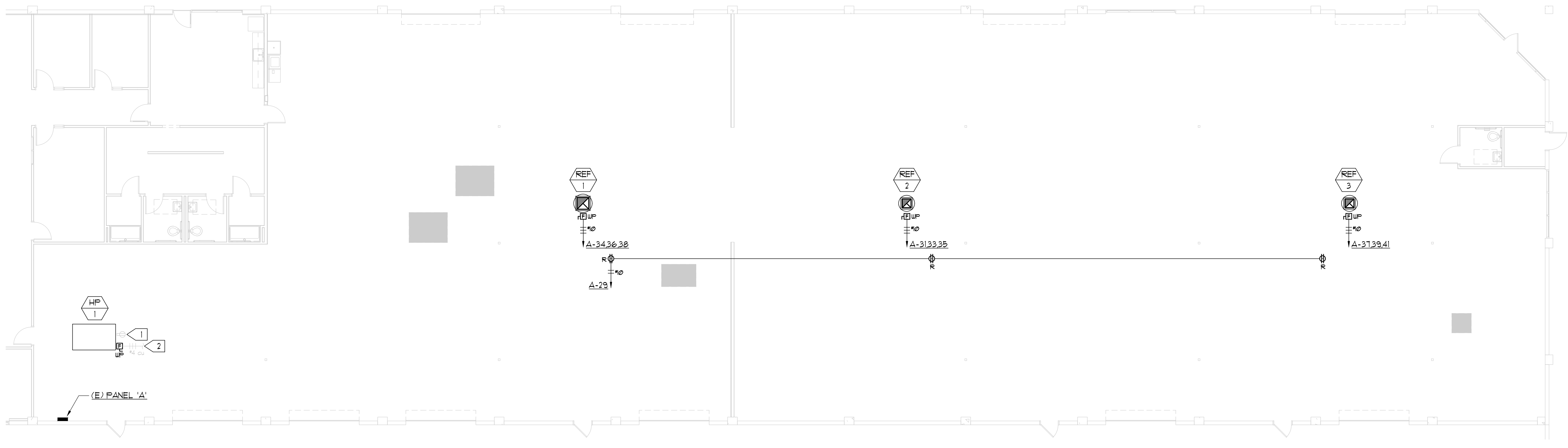
CONDUIT RUN CONCEALED IN WALL OR ABOVE CEILING.
 CONDUIT RUN UNDERFLOOR OR UNDERGROUND.
 HOME RUN, NUMBER OF ARROWS INDICATE NUMBER OF CIRCUITS IN HOME RUN.
 FLEXIBLE CONDUIT
 FACTORY WHIP
 NO CROSSBARS ON CONDUIT INDICATE 1/2" CONDUIT WITH TWO #12 AWG CONDUCTORS, CROSSBARS INDICATE NUMBER OF #12 AWG CONDUCTORS IN CONDUIT, CONDUIT SIZE OTHER THAN 1/2" NOTED ON DRAWING, CONDUIT SIZE OTHER THAN 1/2" NOTED ON DRAWING.
 CONDUIT UP.
 EXAMPLE: THREE CIRCUITS IN HOME RUN - FOUR #10 AWG CONDUCTORS AND ONE #10 AWG GROUNDING CONDUCTOR IN 3/4" CONDUIT, RUN CONCEALED IN WALL OR ABOVE CEILING.

- ### NUMBERED NOTES
- (E) WEATHER DUPLEX RECEPTACLE TO REMAIN, MOUNT TO NEW HEAT PUMP.
 - PROVIDE NEW FUSED DISCONNECT SWITCH AND RECONNECT TO (E) CIRCUIT.

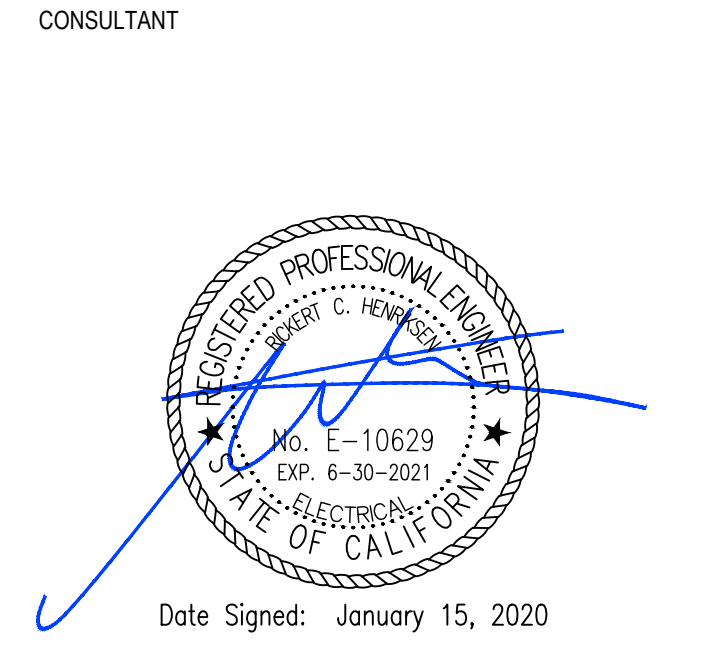
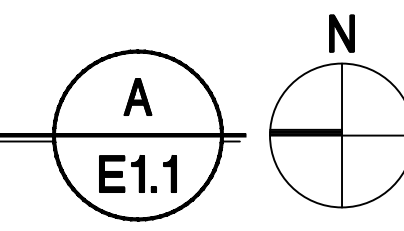
ELECTRICAL SYMBOLS

NON-FUSED DISCONNECT SWITCH, SIZE AS REQUIRED
 FUSED DISCONNECT SWITCH WITH TIME DELAY FUSES SIZED PER UNIT NAMEPLATE OR AS NOTED, DISCONNECT SHALL ACCEPT MAXIMUM RECOMMENDED FUSE SIZE.
 DUPLEX RECEPTACLE, NEMA 5-15R, #18" UON
 RECEPTACLE SUBSCRIPTS:
 R = ROOF MOUNTED, WEATHERPROOF (IN-USE), GFCI
 JUNCTION BOX, SIZE AND TYPE AS REQUIRED
 EXHAUST FAN, N.I.E.S., CONNECT AS REQUIRED
 SWITCHBOARD, SEE ONE LINE DIAGRAM
 IDENTIFICATION TAG FOR EQUIPMENT PROVIDED BY M.C. CONNECT EQUIPMENT AS INDICATED OR AS REQUIRED.
 NUMBERED NOTE TAG - SEE NUMBERED NOTES, SAME SHEET
 INDICATES DETAIL "A" AT SHEET "E1"

EXISTING		120/208V, 3 Ph, 4W.		SURFACE MOUNTED						
PANEL 'A'		225 AMP BUS		10,000 ISC						
DESCRIPTION	KVA	BKR	CKT	Ph. A	Ph. B	Ph. C	CKT	BKR	KVA	DESCRIPTION
(E) RECEPTACLES	1.1	20/1	1	1.3			2	20/1	0.2	(E) FACP
(E) RECEPTACLES	0.7	20/1	3		0.9		4	20/1	0.2	(E) FIRE BELL
(E) RECEPTACLES	0.7	20/1	5			1.2	6	20/1	0.5	(E) TELE. RECEPT.
(E) RECEPTACLES	0.7	20/1	7	0.9			8	20/1	0.2	(E) ROOF RECEPT.
(E) RECEPTACLES	0.7	20/1	9		0.9		10	20/1	0.2	(E) SMOKE DAMPER
(E) RECEPTACLES	0.7	20/1	11			0.9	12	20/1	0.2	(E) ROOF RECEPT.
(E) RECEPTACLES	1.1	20/1	13	2.6			14	20/1	1.5	(E) DRYER
(E) RECEPTACLES	0.7	20/1	15			2.2	16	20/1	1.5	(E) DRYER
(E) G.D.	0.6	20/1	17			1.5	18	20/1	0.9	(E) RECEPTACLES
(E) RECEPTACLES	0.7	20/1	19	1.9			20	20/1	1.2	(E) DOOR
(E) RECEPTACLES	1.1	20/1	21		2.3		22	20/1	1.2	(E) DOOR
(E) RECEPTACLES	0.9	20/1	23			2.1	24	20/1	1.2	(E) DOOR
(E) WASHER	1.5	20/1	25	1.5			26	20/1		
(E) WH RECEPT.	0.4	20/1	27		0.4		28	20/1		
ROOF RECEPTACLES	0.5	20/1	29			0.5	30	20/1		
REF-2	1.3	20/3	31	1.3			32	20/1		
	1.3	20/3	33		3.3		34	2.0		
	1.3	37	35			3.3	36	30/3	2.0	REF-1
	1.3	37	37	3.3			38	2.0		
REF-3	1.3	20/3	39		5.3		40	50/2	4.0	(E) WATER HEATER
	1.3	41				5.3	42	4.0		
SUBTOTAL:				12.8	15.3	14.8				
CONNECTED LOAD	42.9 KVA							MAIN LUGS ONLY		
25% LARGEST MOTOR	1.5 KVA									
TOTAL LOAD	44.4 KVA / 0.380 FACTOR =							123 AMPS		



ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"



SEAL

PROJECT
ROOF REPAIR / REPLACEMENT

185 COMMERCE CIRCLE
SACRAMENTO, CA 95815

CLIENT
AMERICAN RIVER FLOOD CONTROL DISTRICT
165 COMMERCE CIRCLE, SUITE D, SACRAMENTO, CA
95815

ISSUED

MARK	DATE	DESCRIPTION

MANAGEMENT
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AGENCY

TITLE
ELECTRICAL PLANS

SHEET
E1.1

SCOPE OF WORK

This section outlines the engineering services and other responsibilities SCI would perform as the Engineer of Work and Assessment Levy Administrator for American Flood Control District.

DEFINITIONS

District:	American Flood Control District, staff and Directors.
Assessment:	Three Assessment Zones
SCI or Consultant:	SCI Consulting Group, and any and all employees and subcontractors.
Administration:	Services related to the determination, levy and collection of assessment revenues.

CONFIRMATION OF DISTRICT PARCELS AND LEVY CALCULATION

1. In the first quarter of the year, create a database including every parcel in the boundaries of the Assessment District, including the parcel attributes necessary for calculating the Assessments, and update it with new information for the upcoming year.
2. Obtain upcoming fiscal year estimated cost information from the District to use as a basis for the budget in the Engineer's Report. (Optional)
3. On a parcel-by-parcel basis, calculate and verify the proposed specific assessment amount for each parcel and prepare the preliminary assessment roll.

ENGINEER'S REPORT AND OTHER DOCUMENTS

1. Prepare an Engineer's Report (Optional), in compliance with Proposition 218 and other requirements.
2. File the final Engineer's Report with the District (Optional).
3. Prepare any needed resolutions and staff reports for the Assessment.
4. Prepare and assist with the publication of any notices for the continuation of the Assessment.
5. Attend District Board meetings as needed, including those at which the Engineer's Report is approved and the public hearing is held.

LEVY RE-CALCULATION, RE-VERIFICATION AND SUBMITTAL

1. After the close of each fiscal year on June 30, obtain the final lien-date Assessor Roll from the County and create an updated District database.
2. Identify new or changed parcels that may require an updated or new assessment calculation and recalculate the final assessment on a parcel-by-parcel basis.

3. Finalize the Assessment Roll, other documents and supporting materials for the assessments.
4. Prepare the final Assessment Roll for the Assessment District and submit it to the County for inclusion on the upcoming fiscal year tax bills.

DISTRICT INFORMATION AND LEVY CONFIRMATION

1. Verify and validate Auditor's levy data prior to the printing of tax bills.

RESPONDING TO PUBLIC INQUIRIES AND APPEALS

1. Provide the County Auditor/Tax Collector with our toll-free phone number so property owners can directly contact SCI Consulting Group throughout the fiscal year regarding any questions that arise.
2. Throughout the fiscal year, research and, if necessary, revise any Assessments which we find to be based upon incorrect information being used to apply the method of assessment. (It should be noted that, due to our comprehensive levy validation procedures, actual revisions are expected to be very minimal, if any.)



April 16, 2019

Submitted via electronically:tkerr@arfcd.org

Tim Kerr, P.E.
General Manager
American River Flood Control District
185 Commerce Circle
Sacramento, CA 95815

Re: Proposal for Annual Administration of Special Assessments

Dear Tim:

SCI Consulting Group ("SCI") is pleased to submit, for your review, this proposal to provide Annual Assessment Administration Services for the continuation of American River Flood Control District's ("District") three assessment zones. SCI has discussed the current assessments with you, and we are proposing to provide comprehensive annual assessment administration services to the District for multiple years, beginning this year (FY 2019-20), including a detailed parcel audit in the first year, as described herein. Also, we are proposing an optional review of your underlying assessment engineering and development of a Proposition 218-compliant Engineer's Report, but due to the short timeline, the Engineer's Report would be supporting the FY 2020-21 process.

Serving California public agencies since 1985, we clearly understand that these special levies provide vital funding to the District and that the District is seeking to retain the services of a professional levy administration firm to ensure accurate, legally compliant and successful collection of these important revenues. The annual continuance of these special levies is not automatic. It involves important technical, procedural elements and legal requirements each year including the preparation of the annual Engineer's Report. Our commitment is to provide these comprehensive services and minimize the time and resources from the District.

We respectfully offer the following qualities of SCI for your consideration:

MOST COMPREHENSIVE LEVY ADMINISTRATION SCOPE The administration of the District's special levies is a very important fiduciary responsibility that should entail significant effort to ensure that the special levies are collected accurately and defensibly. Through the process of designing and establishing many new post-Proposition 218 benefit assessments, we have gained unparalleled and comprehensive Proposition 218 data flow and compliance expertise.

EXISTING LEVY OPTIMIZATION EXPERTISE As noted, SCI's primary expertise is the levy administration of assessments, fees, charges and special taxes for public agencies. With over 33 years of experience in this specialized field, we have never missed a levy submission deadline and have an unparalleled track record of finding additional revenues for agency levies that were previously administered by another firm. In fact, in nearly every case in which SCI has begun to administer special levies that were previously

handled by another firm or public agency; we have often uncovered significant additional revenues due to incorrect previous amounts or missing parcels that should be subject to the levies.

COLLECTIVE LEGAL EXPERTISE SCI has also gained considerable and unmatched advantage from the collective input of most of the State's leading Proposition 218 specialized attorneys with whom we worked on formations, and on the continued justification of the over 120 post-Proposition 218 agency-wide assessments we created and annually reauthorize.

KNOWLEDGE OF ARFCD We have worked extensively throughout Sacramento and Sutter Counties including local cities and districts. We currently provide, or have provided consulting services to the agencies within Sacramento and Sutter Counties:

- Arden Park, Carmichael, Fair Oaks, Fulton, Mission Oaks, North Highlands, Orangevale, Rio Linda, Southgate and Sunrise Recreation and Park Districts
- Cities of Folsom, Sacramento and Yuba
- Galt, Sacramento City, Yuba City School Districts
- Reclamation Districts 3, 349, 551, 554, 556, 800, 1000 and 1001, Brannan-Andrus Levee Maintenance District, and Sacramento Flood Control Agency ("SAFCA")

SCI'S 2017 AUDIT OF CONSOLIDATED CAPITAL ASSESSMENT DISTRICT NO. 2 On January 17, 2017, SCI was engaged by the SAFCA to conduct a comprehensive audit on their balloted Consolidated Capital Assessment District No. 2 assessment roll. SCI developed a database including the entire SAFCA boundary and assigned land uses independently from the balloted assessment roll based on the County Assessor land use codes. For each attribute category, a comparison analysis was completed between the two data sets and discrepancies were flagged. Finally, aerial research was conducted on the flagged records on a sampling basis to review the variances and trends that emerged from the comparison analysis. As a result, SCI gained unique insight and understanding of SFACA's processes, methodologies and parcel data.

UNMATCHED ABILITY TO HANDLE LARGE AREA/COMPLEX LEVIES SCI has successfully formed more agency-wide benefit assessments than all other firms in the State, combined. This is further evidence of our ability to form and administer large levy assessments. These include new assessments covering all parcels in Alameda, Orange, San Diego, San Joaquin, San Mateo and Santa Clara Counties.

UNMATCHED TECHNICAL CAPABILITIES Every person in our firm, aside from our administrative staff, is a database expert. We have developed in house, specialized programs to improve our levy administration services. We are also GIS and mapping experts. We invite you to compare, or better yet test our database and technical expertise with the staff from any other firm.

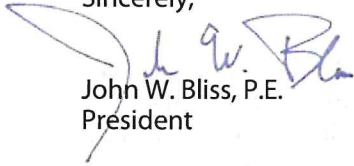
LOW OVERHEAD/LOW COST PROVIDER We understand that levy administration services must be provided cost effectively, particularly to keep the District's costs within budget constraints. For this reason, we maintain the lowest overhead and leanest structure in the industry. While other firms maintain multiple offices, hierarchical administration and much higher overhead costs, we operate more effectively and with much lower overhead out of one central office located in an economically favorable business area.

UNMATCHED RESPONSIVENESS AND CUSTOMER SERVICE We invite you to call our toll-free property owner assistance line at (800) 273-5167 and compare our level of service and responsiveness with any other firm. We answer calls directly with knowledgeable levy administration staff. We also provide the highest level of customer service and responsiveness for all our clients, including responding to all of our clients within the same day.

This proposal is valid for 90 days.

We look forward to this opportunity to assist the District with this important project and stand ready to proceed. If you have any questions or require additional information, please do not hesitate to contact me. I can be reached at (707) 430-4300 or via email at john.bliss@sci-cg.com.

Sincerely,



John W. Bliss, P.E.
President

SCOPE OF WORK

Based upon our current understanding of the District's requested services, we propose the following scope of work for the Operation and Maintenance Assessment District No. 1, the Natomas Basin Local Assessment District and the Consolidated Capital Assessment District No. 2:

Background Research and First Year Parcel Audit

The First Year Parcel Audit will include a geographical and zone review to confirm the correct parcels are subjected to the assessment and tax. Also, the approved methodology for both the assessment and tax will be used to evaluate and recalculate all levies and compared with the previous year levies. At the end of the First Year Audit, SCI will meet with the District to discuss our findings and determine policy and procedures going forward.

The starting point for calculating and confirming the levies for all parcels within the District and three assessment zones for the first fiscal year involves using SCI's extensive statewide database of property and ownership information. This important internal data includes all parcels in the State with over two decades of historical data and extensive parcel attributes. To complement this data, we also utilize current assessor and tax roll data from the County Assessor and Auditor-Controller.

Furthermore, we acquire, compare and incorporate additional data and property information from the District and other real property vendors, title company information vendors, and other sources as necessary. Going beyond the assessor data and our internal parcel information allows us to incorporate and compare other information that typically enhances the comprehensive accuracy of our parcel information.

Determination of Preliminary Levies

Twice a year, SCI recalculates and confirm levies on a parcel-by-parcel basis for all subject properties in the three assessment district zones and for the entire District boundaries for the parcel tax. This additional step, while more time consuming than simply relying on assessor property characteristics and previous levy amounts, has consistently proven to result in more accurate levies and higher overall special levy revenues.

Beginning each March, SCI will determine preliminary levies based on the most current assessor lien roll data. SCI will also work with District staff to develop annual budgets for each zone and the parcel tax. We will research changes in property data, property usage, property valuations and levy changes from the previous year for all parcels within the District and flag all parcels that require property research to determine the appropriate special levy. This process allows us to discover any issues with the assessor's data early. It also allows us to provide the District with a timely and accurate projection of special levy revenues for the upcoming fiscal year.

Preparation of Resolutions and Notices

SCI will prepare all resolutions, the notices of public hearings and agenda reports for the continuation of the special levies. SCI will also assist with the publication of the notices for the continuation of the special levies.

Determination of Final Levies

After the close of each fiscal year, SCI will determine the final levies based on the final lien roll data as of July 1. All new or changed parcels will be identified and the final levies determined on a parcel-by-parcel basis.

Quality Assurance and Quality Control

We take great pride in our levy administration process and our stringent quality control and oversight to ensure the accuracy of the levies. Each year for every special levy, we run over 50 checks and validation queries on each parcel so any parcels that may require additional research can be identified,

researched and determined. After the preliminary levies have been determined by the levy administrator, another levy administrator with SCI will perform a complete independent peer review and audit, including a parcel-by-parcel confirmation of the special levies. Any questions or issues uncovered are fully reviewed and resolved. Finally, before the levies are finalized, a manager will perform another full round of quality assurance and review. These multiple stage reviews and quality assurance steps are a key element in SCI's proven ability to ensure the highest level of accuracy and to maximize special levy revenues for our clients.

Levy Submittal and Confirmation

Once the special levies have been internally approved, SCI prepares the final levy rolls for submittal to the Sacramento and Sutter County Tax Collectors. SCI will also meet the Tax Collectors' levy roll submission requirements and provide them all necessary documentation for inclusion of the special levies on the Counties' consolidated property tax bills. We have never missed an assessment submittal deadline. Additionally, electronic levy rolls sorted by assessor parcel number and Property Owner's Name will be prepared and submitted to the District. Once the special levies are received and approved, SCI will receive written confirmation of the approval of the special levies and communicate the confirmation of the special levies with the District.

At the District's request, SCI will also develop and make available to the District an Internet based website or computer program that will allow District staff to quickly locate parcel data by owner name, parcel number, street address or other requested search criteria.

Inquiries and Information Requests

SCI will coordinate with the Sacramento and Sutter County Tax Collectors for our taxpayer inquiry line (800) 273-5167 to be placed aside the special levy amount on the Sacramento and Sutter County tax bills so property owners, title companies, realtors and other interested parties can directly contact SCI throughout the fiscal year with questions regarding the special levies. Our representatives are fluent in English and Spanish, and calls are returned within 24 hours. Our goal is to represent the District professionally and minimize any inconvenience to the inquiring taxpayer and the District.

Meetings

SCI shall attend any meetings related to the administration of the District's special levies. We anticipate at least one kickoff meeting with the District and attendance at one District Board meeting annually.

OPTIONAL (FY 2020-21) Assessment Engineering and Development of Engineer's Report

SCI will make recommendations to improve compliance with Proposition 218 and other legal requirements and develop a Proposition 218-compliant Engineer's Report. SCI will review the draft Engineer's Report with District staff, District Board-members, legal counsel and other parties and incorporate comments as appropriate. Due to schedule constraints for 2019-20, the Engineer's Report compliance review may be postponed to 2020-21.

PROJECT TEAM

If selected for this project, John Bliss, President of SCI, would serve as the Assessment Engineer of Record and principal-in-charge of the annual levy administration. Jerry Bradshaw would serve as the day-to-day project manager and levy administrator. Such a collaborative, team-based approach helps to assure the District's objectives are well understood and accomplished and all technical and procedural requirements are met. Their bios are provided below.

John Bliss, M.Eng., P.E., President, License No. C052091

John Bliss, a professional engineer and President of SCI, specializes in assessment engineering, special and general benefit analysis, crafting legally compliant, robust Engineer's Reports, levy administration, cost estimating and budgeting, database design and implementation, regulatory compliance, and

revenue measure formations. He has 16 years of experience in this field of expertise. Moreover, John is a recognized expert assessment engineer and Proposition 218 compliance specialist who has served as an expert witness and technical authority. He also has worked with most of the leading Proposition 218 specialized attorneys in the State, which has further expanded his professional and technical expertise.

During his tenure at SCI, John has served as the responsible Assessment Engineer on over 300 Engineer's Reports for new or increased assessments, comprising more post-Proposition 218 new assessment engineering than any other assessment engineer in the State.

John also has served as the project lead for the California Statewide Fire Benefit Fee assessment. John led SCI's successful effort to identify every parcel in Counties throughout the State in State Responsibility Areas and, thus, subject to this new annual assessment fee on property tax bills. (SCI was selected sole-source for this project, based on the State's determination of our unmatched levy administration capabilities.) John also lead SCI's time-compressed and successful assessment calculation efforts and our creation of a highly-integrated information exchange system with the GIS/spatial analysis firm based in India and the State of California for this new statewide fee.

John also has extensive programming and database expertise. John has materially contributed to the specialized and proprietary computer and database programs we utilize as part of our levy administration procedures. Prior to joining SCI, John co-founded several information technology companies that focused on database and infrastructure management including ConstructionPrice, and US Components, and worked as field construction engineer for Shimmick Construction Company and the U.S. Department of Transportation.

John graduated from Brown University with a Bachelor of Science Degree in Engineering and holds a master's Degree in Civil Engineering from The University of California, Berkeley, where he was a Regent's Scholar. He is a licensed professional Civil Engineer in the State of California and is a LEED accredited professional.

Jerry Bradshaw, P.E., Senior Assessment Engineer, License No. C48845

Jerry Bradshaw brings over 20 years of civil engineering experience, much of it in the employ of city government. During that time, he has been very active in both the operations and maintenance of public facilities such as landscaping and has also been involved in numerous ballot measures. While at SCI, Jerry has worked on several projects involving ballot measures and new assessment formations. This includes the recent efforts in the cities of Placentia and Orange where he was the project manager for new landscape maintenance district overlays proposed to residents in Proposition 218 ballot proceedings, like the Pleasant Hill Recreation and Park District project.

While working as a City Engineer and Public Works Director for two mid-sized cities in the San Francisco Bay Area, he developed expertise working with neighborhood and community groups in promoting initiatives of various sorts from assessment district formation, sales tax measures, and numerous other non-balloted initiatives. At SCI, his communications and engineering expertise continues to be an asset on his many assignments.

Maria Garcia-Adarve, Senior Consultant

Maria Garcia-Adarve contributes over 18 years of experience in special levy administration, peer review, assessment formations, surveys, and revenue measure consulting projects to the SCI team. Maria has extensive special levy formation and administration expertise. Maria also has significant experience with the successful formation of new community-wide assessments and fees, and she has worked as a leading consultant on some of the largest new assessments in the State of California, such as the County-wide assessment for vector control and weed abatement throughout San Diego County. Maria graduated with honors from the University of Phoenix, with a Bachelor of Science degree in Business and Information Systems.

Kyle Tankard, Senior Consultant

Kyle Tankard contributes experience leading and assisting in the formation of local revenue ballot measures and their annual administration, for both benefit assessments and special taxes. He currently administers a variety of assessments and taxes for vector, landscaping and lighting, levee and flood control and other special districts throughout California. His scope of work extends to include public opinion research, public outreach, data analysis and GIS mapping and database management. Kyle graduated from the University of California, Santa Cruz with a Bachelor of Arts in Environmental Studies with GIS emphasis. Kyle led the 2017 audit of Consolidated Capital Assessment District No. 2.

Chris Coulter

Chris Coulter contributes experience in funding measure feasibility, data analysis, and financial analysis services for public, private and non-profit sector organizations to the SCI team. He specializes in rate study analysis and Proposition 218 formation of benefit assessment districts, community facility districts and fee rate structures. In addition, Chris is experienced in spatial and regional analysis, opinion research, public outreach, demographic studies and ballot measure development. Chris is a graduate of the University of California at Berkeley with a Bachelor of Art degree in English Literature.

REFERENCES

Bethel Island Municipal Improvement District
3085 Stone Rd
Bethel Island, CA 94511
(925) 684-2210
Contact: Regina Espinoza, District Manager
E-mail: respinoza@bimid.com

Bethel Island is the most heavily populated Delta island and had suffered from severe property tax revenue deflation loss and local economic hardships. The local population had considerable skepticism toward the local governing agency, the Bethel Island Municipal Improvement District ("BIMID"). In fact, BIMID had proposed a special tax in 2010 which was soundly defeated. To complicate matters even more, there was a long-stalled development project (called Delta Cove) that was beginning to be revived and potentially include more than one-third of all the houses on the island. Negotiations between the developer and BIMID were difficult and the proposed assessment was a major point of contention. The community was distrustful of both BIMID and the developer.

SCI was hired to manage all aspects of a proposed new revenue mechanism to leverage Department of Water Resources grant funding by providing the required local funding share, and to fund inadequate maintenance. SCI realized that considerable effort would have to be made to regain credibility in the community. A comprehensive, multi-faceted community outreach plan was developed that included direct meetings with major property owners, as well as community meetings, wherein property owners could engage Board members and engineering experts. Several community meetings were conducted along with special one-on-one meetings with major property owners and developers.

SCI developed a proposition 218 compliant engineering approach and Engineer's Report that captured the unique attributes of flood depths and housing stock (i.e., many houses are built on stilts) with a strict goal to create a fair, equitable, and easy-to-understand rate structure. The rate structure was well-accepted by the community and served to help it win widespread support.

SCI assisted the District and other project team members with outreach efforts with property owners and developers. The Assessment was ultimately approved with over 68% support, only four years after a similar tax (Measure X) managed by a different consultant, received only 41% support.

SAFCA

1007 7th Street, 7th Floor
Sacramento, CA 95814
Contact: Jason D. Campbell, Deputy Executive Director
(916) 875-6119; campbellja@saccounty.net

On January 17, 2017, SCI was engaged by the SAFCA to conduct a comprehensive audit on their balloted Consolidated Capital Assessment District No. 2 assessment roll. The original proposal recommended an audit to be performed on a sampling basis. An independent database would be developed comprised of 5% to 10% of the District's 160,000 parcels, with a similar sample size for each land use category. However, after the initial review of the assessment methodology and data gathering, it was concluded that this method would not provide a comprehensive review of the SAFCA's assessment roll. A revised scope of work was proposed to focus on the important attributes that directly affect the assessment calculation: flood depth, parcel acreage, stories and building square footage.

A database was developed for the entire SAFCA, and land uses were assigned independently from the balloted assessment roll based on the County Assessor land use codes. For each attribute category, a comparison analysis was completed between the two data sets and discrepancies were flagged. For convenience, the term "assessment ballot roll" indicates the existing SAFCA roll and the term "County data" indicates the Sacramento County Assessor's data. Finally, aerial research was conducted on the flagged records on a sampling basis to review the variances and trends that emerged from the comparison analysis.

In 2018, SCI as engaged to provide annual assessment administration services to SAFCA

City of Folsom

50 Natoma Street
Folsom, CA 95630
Contact: Lorraine Poggione, Landscaping and Lighting District Manager
(916) 355-7207 ext:220-3017; lpoggione@folsom.ca.us

SCI was initially hired in 2003 to administer the 19 landscaping and lighting assessments in the City at that time. These assessments had previously been administered in-house. In the first year of our administration, we uncovered over \$24,000 in additional annual revenues due to previous under-assessments on certain parcels. In addition, we performed a comprehensive Proposition 218 compliance analysis that resulted in significant upgrades to the assessment engineering findings and special benefit analysis required under Proposition 218.

SCI has served as the City's Engineer of Record and assessment administrator since 2003. During this time, we have also assisted the City with many assessment ballot proceedings to increase existing assessment rates, or to establish new assessment districts. In addition, we assisted the City with a comprehensive analysis of the expenditure and future capital improvement reserve needs for all the assessment districts in the City.

City of Sacramento, Department of Utilities

1395 35th Avenue
Sacramento, CA 95822
Contact: Wally Cole, Senior Management Analyst
(916) 808-6203; wcole@cityofsacramento.org

The Department of Utilities with the City of Sacramento hired SCI to assist them with a stormwater rate implementation in April 2017. SCI was specifically tasked to develop a funding options report to help the City confirm the property-related fee approach, perform public opinion research and survey, provide recommendations for a ballot measure, and assist their community outreach effort. This work

has been completed, although the City has deferred the balloting to 2018. One of the complicating factors for this project was that the stormwater fee study was done by another consulting firm simultaneously with their water and sewer rate studies, and due to the different Proposition 218 requirements for storm drainage, had to be separated out and handled differently, both procedurally as well as in the community outreach area.

SCI has been preliminarily selected to perform additional public opinion research as well as manage the ballot process when this measure moves forward.

City of San Mateo

330 West 20th Avenue

San Mateo, CA 94403

Contact: Larry Patterson, City Manager

(650) 522-7303; lpatterson@cityofsanmateo.org

As an initial phase, SCI conducted a scientific survey of property owners to measure the level of support for flood control improvements and a benefit assessment to fund these improvements. This survey found that property owners highly supported the proposed improvements and assessments, if they clearly understood the need for enhanced flood control and the benefits to their property. As a next phase, SCI assisted the City and other project team members with outreach efforts with property owners to build consensus for the proposed improvements and assessments. Thereafter, SCI prepared the Engineer's Report and conducted a successful assessment ballot proceeding that is generating ongoing annual revenues for the maintenance and improvement of levees and other flood control improvements.

FEES

In consideration for the work accomplished, as outlined in this proposal, SCI shall be compensated as detailed below.

1. Compensation for Annual Levy Administration Services shall be fixed fee amounts for the following:

Fiscal Year 2019-20 Levy Administration	Fee
First Year Parcel Audit	\$9,750
Annual Administration as described in Scope of Work	\$16,250

Fiscal Year 2020-21 Levy Administration	Fee
OPTIONAL Engineer's Report	\$36,500
Annual Administration as described in Scope of Work	\$21,000

Fiscal Year 2021-22 Levy Administration	Fee
Annual Administration as described in Scope of Work	\$21,500

Fiscal Year 2022-23 Levy Administration	Fee
Annual Administration as described in Scope of Work	\$22,000

Optional One-year extensions:

Fiscal Year 2023-24 Levy Administration	Fee
Annual Administration as described in Scope of Work	\$22,000

Fiscal Year 2024-25 Levy Administration	Fee
Annual Administration as described in Scope of Work	\$22,000

2. Compensation for the additional objectives will be developed based upon project specifics upon request.
3. Compensation amount for all consultant work for district formation/annexation services and new or increased assessments will be developed based on the complexity of each project.
4. Each fiscal year, 50% of the annual fees shall be due upon the filing of the levies with the Sacramento and Sutter County Tax Collectors in August, with the remaining 50% due on January 15.
5. Customary incidental expenses including property data, travel and other out-of-pocket costs, shall be billed as incurred, with a total amount not to exceed \$1,500 per fiscal year without prior authorization from the District.
6. The scope of services for annual administration includes two in-person meetings with the District for the first two fiscal years and one in-person meetings for each subsequent year. Any additional in-person meetings shall be charged at the rate of \$1,050 per person per meeting.

OTHER INFORMATION

Acknowledgement of Agreement and Insurance

SCI accepts the terms and conditions of RFP. We have no exceptions to the Scope of Services or to the Professional Services Agreement and the Certification of Insurance requirements.

Employment Policies

SCI does not and shall not discriminate against any employee in the work place or against any applicant for such employment or against any other person because of race, religion, sex, color, national origin, handicap, or age or any other arbitrary basis. SCI Consulting Group insures compliance with all civil rights laws and other related statutes.

Conflict of Interest Statements

SCI has no known past, ongoing or potential conflicts of interest for working with the District, performing the Scope of Work or any other service for this Project.

Insurance

SCI carries professional Errors and Omissions insurance in the amount of \$2 million per occurrence and \$2 million aggregate. SCI also carries general liability insurance in the amount of \$2 million per occurrence and \$4 million aggregate.

Independent Contractor

If selected, SCI shall perform all services included in this proposal as an independent contractor.

Scope of Work

In the event the District elects to request optional, additive scope of work, SCI will work with the District to negotiate compensation for these additional tasks and execute an Addendum to the agreement for these additional services.

Responsibilities of the District

SCI will make every effort to minimize the workload on the District, but may need assistance, iteratively, with project overview and history, scheduling and budgeting.

Coordination with the District

SCI will coordinate services with District staff through frequent and concise communications including face-to-face meetings, telephone calls and e-mail.

American River Flood Control District
Public Auction of Property – Along Levee in River Park
Staff Report

Discussion:

One of the parcels adjacent to the District levee in River Park is currently listed for sale at public auction due to property tax default. Per discussions with the County Assessor's Office, the type of auction currently proposed for the parcel is for public bidding under Section 7 of the County code.

The parcel has permitted encroachments associated with it that negatively impact the District levee. A retaining wall and stairs have been installed at the toe and earth fill has been placed on the levee side of the wall. The wall has metal shade screening affixed to it that connects to an adjacent garage structure. The garage structure's wall is coincident with the property line so there is no setback. The configuration of the encroachments results in a condition where there is no visibility for the District to inspect for levee problems or failure signs during a flood event or during routine patrols. The retaining wall could also negatively impact the stability of the levee slope.

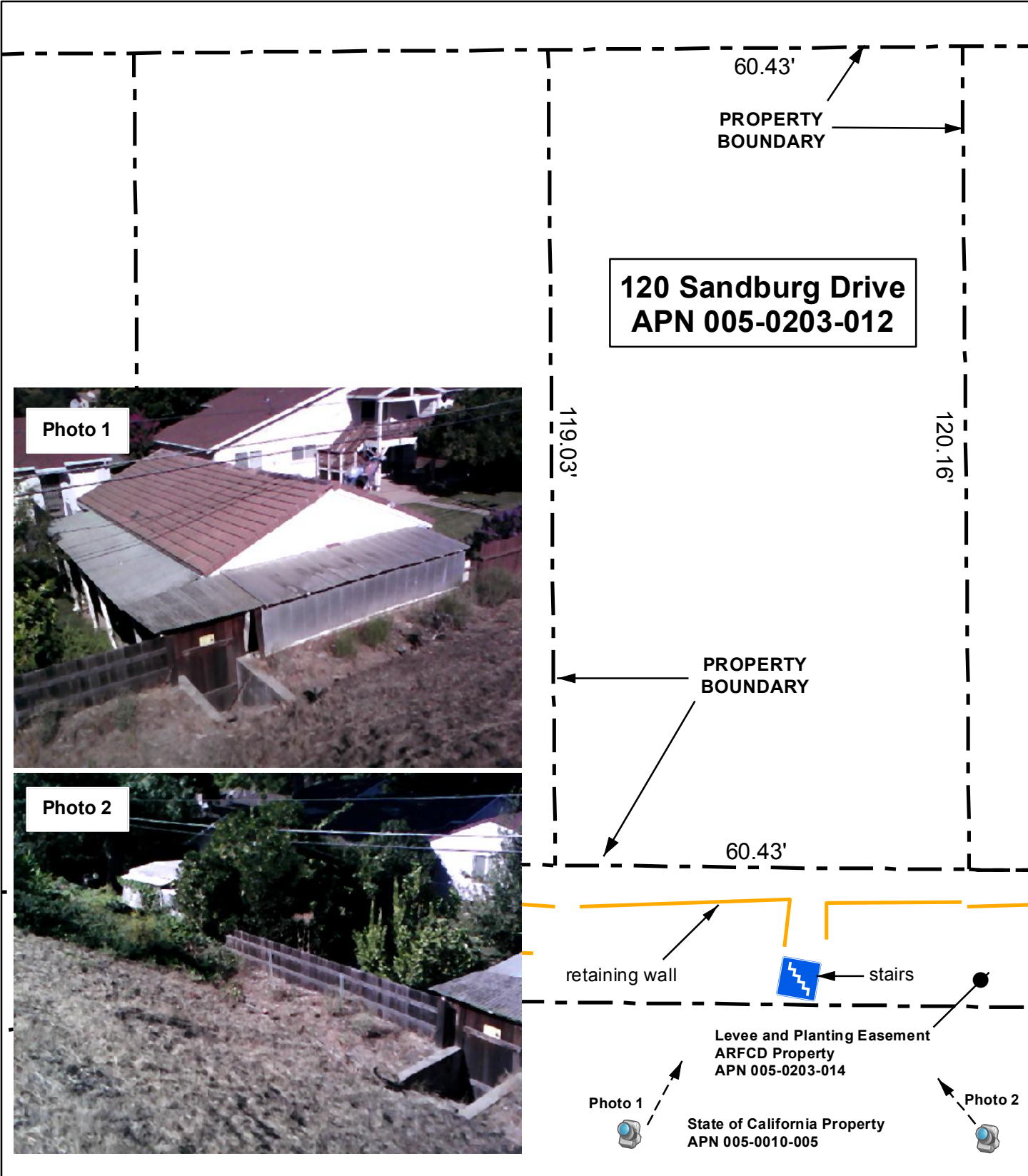
Per the County Assessor's office, the District could submit a letter of protest to the sale at public auction of the parcel under the County's Section 7 program. If approved by the County, this would remove the parcel from the Section 7 program and place it under the direction of the Section 8 program which only accepts bids from public agencies. The District could then bid on the property and acquire the parcel by paying the back taxes. The back taxes from 9 years of tax delinquency equals approximately \$70,000. The District could then remove the encroachments, relinquish the permit and adjust the location of the fence back to the property line. The parcel could then be placed back on the market and the District could recoup its costs. A letter opposing the sale under Section 7 must be received by the County Assessor by close-of-business on February 21, 2020.

One other option to correct the encroachments would be to place a lien on the title of the property so that the future owner would be aware that the encroachments must be corrected as part of the transfer of title. Staff is still researching this option.

Recommendation:

The General Manager recommends that the Board pursue correcting the encroachments by placing a lien on the title or by property acquisition.

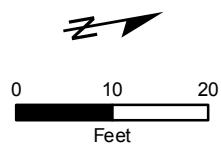
Item No.	Description	Parcel Number	Def Year	Default Number	Minimum Bid	Supervisor District	Comment
1	LOT NO.180, BOULEVARD PARK SUB., BK. 006. PG. 029. IN THE CITY OF SACRAMENTO. AKA ASSESSOR'S PARCEL NO. 003-0132-001-0000.	003-0132-001-0000	2014	14-13250462-00	\$ 60,200	1	STRUCTURE
2	FRAC. LOT 4 REESE VILLA BEING ALL W. OF E 38 FT. EXC. POR. BEING 6.2 FT. ON N END & 12 FT. ON S. END. IN THE CITY OF SACRAMENTO. AKA ASSESSOR'S PARCEL NO. 004-0191-033-0000.	004-0191-033-0000	2014	14-13251900-00	\$ 1,100	1	
3	LOT NO. 13, ORCHARD TERRACE SUB., BK. 025, PG. 029. IN THE CITY OF SACRAMENTO. AKA ASSESSOR'S PARCEL NO. 005-0203-012-0000.	005-0203-012-0000	2009	09-08234120-00	\$ 68,300	1	STRUCTURE
4	S 43.3 FT LOT 312 SMITH TR NO 4. IN THE CITY OF SACRAMENTO. AKA ASSESSOR'S PARCEL NO. 008-0362-018-0000.	008-0362-018-0000	2014	14-13258256-00	\$ 61,800	1	STRUCTURE
5	LOT NO 8007, H J GOETHE CO SUB 80, BK. 007., PG. 026. IN THE CITY OF SACRAMENTO. AKA ASSESSOR'S PARCEL NO. 008-0433-009-0000.	008-0433-009-0000	2013	13-12259628-00	\$ 33,300	1	STRUCTURE
6	N 1/4 LOT/BLK S & T & 6 & 7. IN THE CITY OF SACRAMENTO. AKA ASSESSOR'S PARCEL NO. 009-0062-004-0000.	009-0062-004-0000	2014	14-13258987-00	\$ 38,100	1	
7	E 1/4 OF N 1/2 LOT 7 BLK X & Y 5 & 6. IN THE CITY OF SACRAMENTO. AKA ASSESSOR'S PARCEL NO. 009-0235-005-0000.	009-0235-005-0000	2014	14-13259791-00	\$ 5,300	1	LOT NO. 1
8	W 1/2 OF E 1/2 AND E 1/4 OF S 1/2 LOT 7 BLK X & Y 5 & 6. IN THE CITY OF SACRAMENTO. AKA ASSESSOR'S PARCEL NO. 009-0235-006-0000.	009-0235-006-0000	2014	14-13259792-00	\$ 19,700	1	STRUCTURE, LOT NO. 1



**Sacramento Area
Flood Control Agency**

Levee Accreditation Project

Encroachment Removal



ORDER OF THE RECLAMATION BOARD

Item 6

3005.05.000

Application No. 6499

APN:
005-0203-012
ARFCD
UNITY
L.M. 5.93

The application of **John W. Sullivan**
120 Sandburg Drive
Sacramento, California

for approval of plans **To retain existing sprinkler system, concrete steps, stepping stones, retaining walls, storage area between garage and retaining wall. To plant vegetables and perennials on levee terraced area, American River left bank levee. Section 3, T. 8 N., R. 5 E., N.D.B.&M., Sacramento County. (American River Flood Control District)**

having been set for hearing on the **4th** day of **April**, **1969**, and said application

having been heard on said day: NOW THEREFORE, IT IS

ORDERED, That said application and said plans be, and the same are hereby approved, and permission to proceed with the work in accordance therewith is hereby granted, subject to the following conditions:

GENERAL CONDITIONS

ONE: That this order, with its terms, conditions, and reservations, shall be null and void and ineffective for any purpose whatsoever until applicant, or the duly authorized agent thereof, shall accept in writing and return this Order to the Reclamation Board not later than 60 days after the date the Board heard and approved said application and plans; and agrees to all the terms, conditions, and restrictions hereof, which said acceptance and agreement shall be endorsed upon a copy of this order, in the form provided therefor, which form is hereby made a part of the substance hereof;

TWO: That this approval of plans does not carry with it permission to construct any works on lands owned by the Sacramento and San Joaquin Drainage District, nor on any other lands whatsoever.

THREE: That the work hereunder shall be accomplished under the direction and supervision of the State Department of Water Resources, and applicants shall conform to all requirements of said Department; and applicant shall notify said Department of Water Resources, P.O. Box 388, Sacramento, phone 445-8458, at least three days prior to commencement of the contemplated work.

FOUR: That applicant shall pay any and all reasonable expenses which the Reclamation Board or the Department of Water Resources shall find it necessary to incur for the purpose of assuring the board or the Department that this order is being and has been complied with by applicant and that the work is performed in conformity with the plans herein approved.

FIVE: That applicant shall at the applicant's sole cost and expense, remove, alter, relocate or reconstruct all or any part of the work herein approved immediately upon the order of the Reclamation Board so to do, and in the manner prescribed thereby, should said work or any portion thereof not conform to the provisions of this order, or should said work or any portion thereof be injurious to or damage any works necessary to any plan of flood control of the Reclamation Board or the Legislature or should it interfere with the successful execution, functioning or operation of any such plan of flood control, or should such removal, alteration, relocation or reconstruction be necessary under or in conjunction with any present or future flood control plans for the area in which the work herein approved is to be accomplished, and in case applicant delays acting upon any such order of the Reclamation Board, the Board may proceed to perform the required work and the cost thereof shall be paid by applicant.

(OVER)

SIX: That the applicant shall maintain the project works within the utilized area in the manner required and as requested by the authorized representative of American River Flood Control District or any other agency responsible for maintenance.

STATE OF CALIFORNIA }
COUNTY OF SACRAMENTO } ss.
Office of the Reclamation Board }

I **HOWARD J. SULLIVAN** do hereby certify that the above and foregoing is a true and correct copy of an Order made by said Board at the above indicated meeting.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the Reclamation Board, this **7th** day of **April**, 19 **69**

Original signed by
Howard J. Sullivan

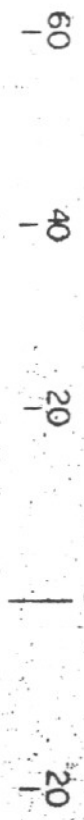
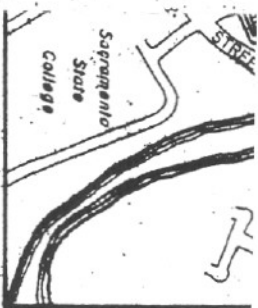
HOWARD J. SULLIVAN
Assistant Secretary

(SEAL)

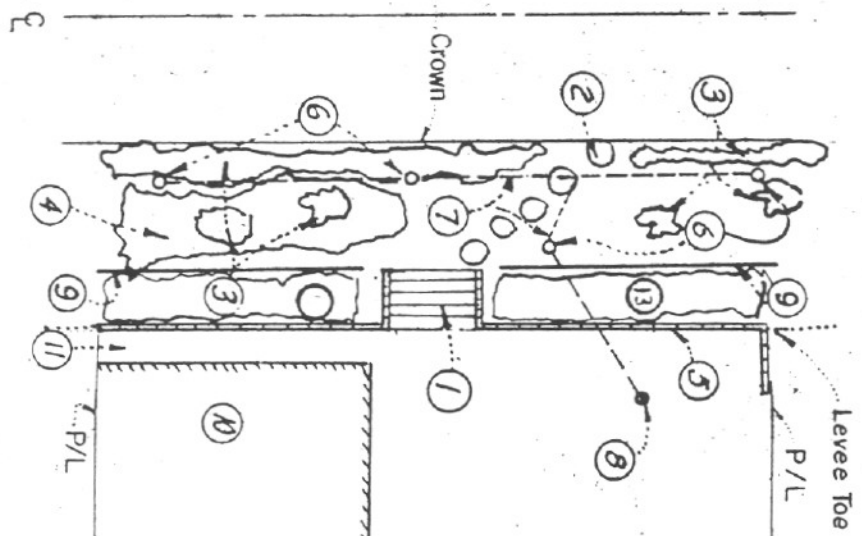
The undersigned and heretofore named applicant, or the applicant's duly authorized agent, hereby accepts the above and foregoing Order subject to all the terms thereof, agrees to abide by the same, and on the applicant's behalf and on behalf of the applicant's successors, agents and assigns, waives all claims arising, directly or indirectly, out of, or in any manner based upon any act, order, regulation, or requirement of the Reclamation Board, the Sacramento and San Joaquin Drainage District, the local district or other maintaining agency, the Department of Water Resources, or the United States of America, the officials, agents or employees thereof, done pursuant to the terms and provisions of the above and foregoing Order, and does for the applicant, the applicant's successors, agents and assigns, agree to hold and save harmless the said Reclamation Board, the Sacramento and San Joaquin Drainage District, the local district or other maintaining agency, the Department of Water Resources, the United States of America and the officials, agents or employees thereof, from any and all claims, damages or liability due to or arising out of this application or any activity in connection therewith.

IN WITNESS WHEREOF, the said applicant, or the applicant's duly authorized agent, has executed this certificate, this day of, 19, at, California.

..... Signature Title
..... Signature Title



Scale: 1" = 20'
U.S.G.S. Datum



LEGEND

- ① Concrete steps
- ② Stepping stones
- ③ Junipers
- ④ Hypericum
- ⑤ Cement block wall, 4 1/2' high
- ⑥ Rainbird sprinklers
- ⑦ 3/4" galvanized pipe
- ⑧ Shut-off valve
- ⑨ 3x15 wood retaining wall 4"x4" posts
- ⑩ Garage
- ⑪ Storage (Metal roof & sides to ret. wall)
- ⑫ 3"x15" wood retaining wall
- ⑬ Proposed vegetables & perennials

PLAN VIEW

Scale: 1" = 20'

Item 6 *File Copy*

AMERICAN RIVER FLOOD CONTROL DISTRICT
165 COMMERCE CIRCLE, SUITE D, SACRAMENTO, CALIFORNIA 95815

BOARD OF TRUSTEES
KAROLYN W. SIMON
CLYDE W. MACDONALD
BETTINA C. REDWAY
VIRGINIA G. MOOSE
SELBY J. FERMER

(916) 929-4006
(916) 929-4160 FAX

GENERAL MANAGER / ENGINEER
TED A. SMITH

DISTRICT SUPERINTENDENT
WILLIAM MAHR

August 13, 1999

Mr. and Mrs. John W. Sullivan
120 Sandburg Drive
Sacramento, CA. 95819

Dear Mr. and Mrs. Sullivan:

At the membership meeting of the River Park Neighborhood Association held July 21, 1999, to review levee encroachments, I promised to identify those properties with obvious and significant physical encroachments. Of primary initial concern to the District are those properties where structures and landscaping may have been moved several feet onto District property, thus depriving us of a means of locating problem sites and fighting a flood during an emergency. Your property at the above address has been identified after initial screening as one of the properties showing significant encroachment.

Our initial screening of encroaching properties is based solely on recent field surveys made to re-establish the accurate location of your rear property line, the line in common with the boundary of the District's lands on which the levee is located. Some encroaching facilities may be present under legitimate permits previously obtained from the California Reclamation Board and/or this District. However, I can assure you that neither the Reclamation Board nor this District has ever granted a permit that relinquished flood control land to the adjacent owners. It is possible that over time you and/or prior owners have gradually reconstructed fences and implemented landscaping work on lands which you may have thought was in your ownership, but which in fact are within the levee easement. Our initial screening herein has not endeavored to address any permit rights, but only to flag for consideration those properties where significant physical intrusions on to flood control lands have been implemented.

I am enclosing our surveyor's plot of your property at the above address. Our examination of the plot indicates that your back fence encroaches by about 6.5 feet into the levee property. Landscaping facilities within the strip (such as trees, retaining walls, and decking) may in fact be located on District property.

assist in the removal of any unpermitted or unwanted owner facilities that encroach the District right-of-way.

We look forward to hearing from you in this matter and will cooperate in every way possible to implement an agreeable remediation of these troublesome encroachments.

Sincerely
AMERICAN RIVER FLOOD CONTROL DISTRICT

A handwritten signature in cursive script that reads "Karolyn W. Simon". The signature is written in black ink and is positioned above the printed name.

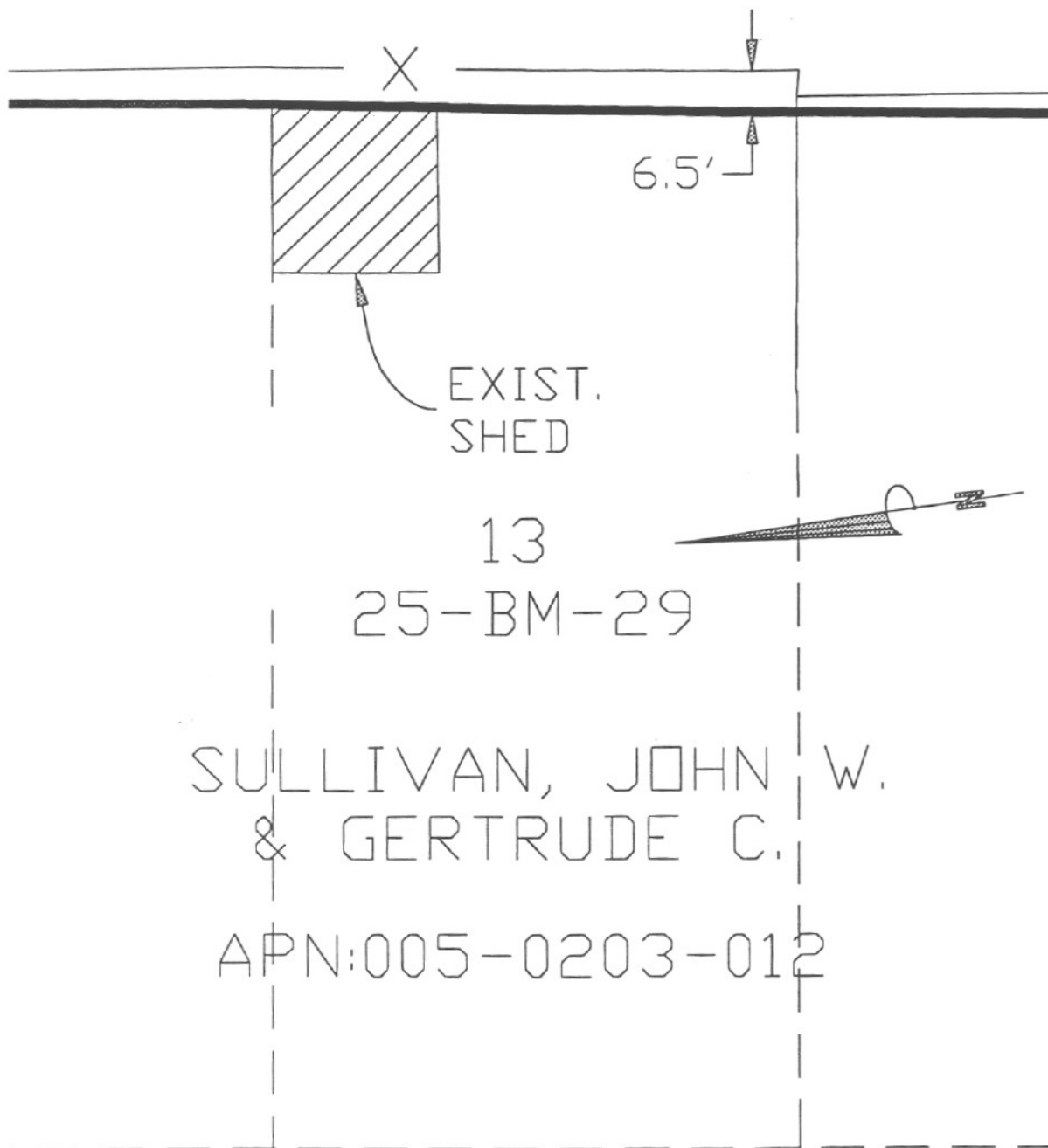
Karolyn W. Simon, President

AMERICAN RIVER FLOOD CONTROL DISTRICT

Item 6

PHYSICAL ENCROACHMENT ON DISTRICT PROPERTY

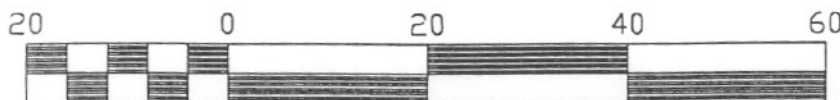
SHEET 55 OF 56
SCALE 1" = 20'



SULLIVAN, JOHN W.
& GERTRUDE C.

APN:005-0203-012

120 SANDBURG DR.
SACRAMENTO, CA



Scale 1" = 20'

TERRY A. ROSE
RCE 21640

XREF 95012 BASE.DWG
99017 SHEET 55.DWG

American River Flood Control District

Audio Recording Board Meetings Policy

The Board of Trustees seeks to implement a program to record the proceedings of their monthly Board meetings. The intent of this program is to make the content of the meetings available to the public and for the recordings to provide an additional means for the public to hear the Board discussions.

This policy will outline the specific methods and parameters to be used to generate the audio recordings as well as a timeline for the implementation of the program.

Audio Recordings

The Board of Trustees' monthly Board meetings shall be recorded with an audio voice recorder. The Audio recording file will be placed on the District website under the monthly meeting section of the site on the first weekday following the meeting, or as soon as possible thereafter. The recordings shall be retained on the website for at least 15 months. Notification shall be made on the posted meeting Agenda that the meeting will be audio recorded and a similar notification shall be displayed in the Board meeting room.

Audio Recording Pilot Program

The Board of Trustees intends to implement the audio recording program as a pilot program for the period of one year to determine if there is a public benefit from the program. Online analytics will track the number of times the audio files are down loaded over the course of the pilot program. The Board of Trustees shall review the efficacy of the Audio Recording Pilot Program at intervals of 6 and 12 months from the initiation of the program. At the end of the pilot program, the Board of Trustees shall determine if it intends to continue, revise, or suspend the program. The Board reserves the option to revise the pilot program or this policy at any time during the course of the pilot program.

General Manager's Meeting Summary

January 2020

1/8: Assembly Bill 137 Conference Call. I participated in this call with staff from the Central Valley Flood Protection Board, RD 1000, the City of Sacramento, and Assemblyman Cooper's office to develop a new approach to promote the legislation.

1/10: American River Flood Control District Board of Trustees meeting. The Board met in regular session. The agenda items included a Scope of Work for Erosion Repair Designs in Arcade Creek by MBK Engineers and a memo from the General Manager on District Priorities for 2020.

1/15: Assembly Bill 137 Conference Call. I participated in this call with staff from the Central Valley Flood Protection Board, RD 1000, the City of Sacramento, and Assemblyman Cooper's office to develop a new approach to promote the legislation.

1/17: DWR DMP meeting. I met with Nancy Moritz from Mead and Hunt to review the results from the ground penetrating radar study to look for not found pipes. We also discussed the progress for the proper abandonment of a pipe near Interstate 5.

1/22: District Roof Design meeting. I met with Don Mariano and Frank Hubbard from Lionakis to go over the final design drawings for the District roof. We discussed the new drainage improvements in the design and the cost breakouts for each work division.

1/22: DWR DMP meeting. I met with Nancy Moritz from Mead and Hunt, and Tim Williams and Becky Money from Kleinfelder Associates to review the plan for the proper abandonment of a pipe near Interstate 5. Kleinfelder is developing a design schematic to submit to the State CVFPB and the US Army Corps to justify that the work should be approved as maintenance.

1/27: Pipe Inspection Site Visit. Superintendent Kawamura and I met with Kate Rosenlieb, a concerned resident in the Larchmont neighborhood to examine undocumented pipes she observed in her walks along the levee. One pipe appears to be a 4-inch ABS pipe just below the surface of the waterside toe road and Ross' crews will perform a partial excavation to identify the pipe. The other pipe was a remnant of an abandoned irrigation system and will be removed by the crew.